

LANDS TITLES REGISTRATION
OFFICE
SOUTH AUSTRALIA

MEMORANDUM OF ENCUMBRANCE

FORM APPROVED BY THE REGISTRAR-GENERAL

BELOW THIS LINE FOR AGENT USE ONLY

CERTIFIED CORRECT FOR THE PURPOSES
OF THE REAL PROPERTY ACT 1886

[Signature]
Solicitor/Registered Conveyancer/Encumbrancee
Don MARKWICK

AGENT CODE

Lodged by:

EXMO 242

Correction to:

MCDONALD CONVEYANCING MCD2

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH
INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

- 1.....
- 2.....
- 3.....
- 4.....
- 5.....

Assessor

PLEASE ISSUE NEW CERTIFICATE(S) OF TITLE AS FOLLOWS

- 1.....
- 2.....
- 3.....

DELIVERY INSTRUCTIONS (Agent to complete)
PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE
UNDERMENTIONED AGENT(S)

ITEM(S)	AGENT CODE

E 10266719



14:50 15-Jul-2005

Single Copy Only

4 of 4

Fees: \$101.00

Series No.	Prefix
(4)	E

BELOW THIS LINE FOR OFFICE USE ONLY

Date	<i>15/7/05</i>	Time	
FEES			
R.G.O.	POSTAGE	NEW C.T.	
101			

CORRECTION	PASSED <i>[Signature]</i>
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REGISTERED	25 JUL 2005
<i>[Signature]</i> REGISTRAR-GENERAL	

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Printed by Don Markwick, McDonald Conveyancing on 22 Jun 2005

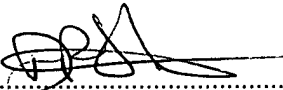


DATED 14 / 7 / 2005

EXECUTION


.....
Signature of Encumbrancer


.....
Signature of Encumbrancer


.....
Signature of WITNESS - Signed in my presence by the
Encumbrancer whois either personally known to me or
has satisfied me as to his or her identity.*

DEAN ROBERT THOMAS
.....
Print Full Name of Witness

43 TAY ROAD Mt COMPASS
.....
Po Box 368 Mt COMPASS
.....
Address of Witness 5210

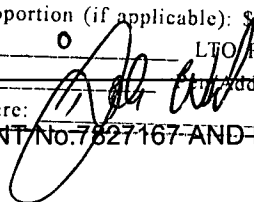
Business Hours Telephone
No. 85568559

*NB: A penalty of up to \$2000 or 6 months imprisonment applies for improper witnessing

MEMORANDUM OF ENCUMBRANCE

CERTIFICATE(S) OF TITLE BEING ENCUMBERED
THE WHOLE OF THE LAND COMPRISED IN CERTIFICATE OF TITLE REGISTER BOOK

VOLUME 5274 FOLIO 309

RevenueSA - Stamp Duty - ABN 19 040 349 865 ©
RevNetID/PRA Bundle No.: 107796520
Orig/Copy _____ of with 0 copies
Consideration/Value/Security: \$.10
SA Proportion (if applicable): \$ _____
SD: \$ 0 LTO Fees: \$ 0
Int: \$ _____
Signature:  Date: 14/7/05

ESTATE AND INTEREST
ESTATE IN FEE SIMPLE

ENCUMBRANCES

SUBJECT TO AGREEMENT No. 7827167 AND ENCUMBRANCE
No. 7896693

ENCUMBRANCER (Full Name and Address)

GRAEME JOHN KENNEDY and MARY PATRICIA KENNEDY of PO BOX 320 Mount Compass SA 5210

ENCUMBRANCEE (Full Name, Address and Mode of Holding)

LINKS LADY BAY PTY. LTD. (A.C.N. 065 268 868) OF P.O BOX 1596 NORMANVILLE SA 5204

OPERATIVE CLAUSE

THE ENCUMBRANCER ENCUMBERS THE ESTATE AND INTEREST
IN THE LAND ABOVE DESCRIBED FOR THE BENEFIT OF THE
ENCUMBRANCEE SUBJECT TO THE ENCUMBRANCES AND OTHER
INTERESTS AS SHOWN HEREON WITH AN ANNUITY OR RENT
CHARGE OF TEN CENTS (\$0.10)

(a) Insert the amount of the annuity or rent charge

(a) 100 YEARS

(b) State the term of the annuity or rent charge.
If for life use the words "during his or her lifetime"

(b) TO BE PAID TO THE ENCUMBRANCEE
FOR THE TERM OF 100 YEARS

(c) State the times appointed for payment of the
annuity or rent charge. Any special covenants may
be inserted on page 2.

(c) AT THE TIMES AND IN THE MANNER FOLLOWING
PER YEAR (IF DEMANDED)
*ON THE FIRST DAY OF JUNE IN EACH
AND EVERY YEAR OF THE TERM (IF DEMANDED)*

IT IS COVENANTED BETWEEN THE ENCUMBRANCER AND ENCUMBRANCEE as follows:
AS ANNEXED HEREIN

- 1.1 During the continuance of this encumbrance the encumbrancer shall not upon the said land or in respect thereof:
- (a) Erect any structure (with the exception of a fence on the boundary of the land) less than 6 meters distant from the nearest point to any land set aside for use as a Golf Course and abutting the land (rear boundary).
 - (b) Cause, permit or suffer to be erected or remain on the land any fence which is constructed of material other than open vision material (such as ARC pool fence) on the side and/or rear boundaries of the said land for distance of 6 meters from the nearest point to any land set aside for use as a Golf Course and abutting the land (rear boundary).
 - (c) Permit any tree, shrub or other like growing thing to reach a height in excess of 4 meters above natural ground level and in the event that any such tree, shrub or other like vegetation does exceed the height of 4 meters forthwith lop, take down and remove such portion thereof as may exceed the said height to f 4 meters immediately upon the receipt of notice form the encumbrancee requiring such works to be performed.
 - (d) Transfer any estate or interest in the said land (or any part thereof) without first causing the party in whose favor such estate or interest is to be transferred to execute a substitute encumbrance in the same terms as herein contained in favor,of the encumbrancee.
 - (e) Make any claim upon Links Lady Bay A.C.N. 065 268 868 pursuant to the provisions of the Fences Act 1975 as amended (or legislation substituted thereof)
 - (f) Erect or permit to be erected any dwelling house, the area of which under the main roof is less than 120 square meters in total.
 - (g) Install or permit to be installed mirror reflective glass or similar material in the western elevation of any dwelling house.
 - (h) Improve or permit the said land to be improved in a manner which is contrary to or incompatible with or inconsistent with the Residential Design Guideline annexed hereto without the prior consent in writing of the encumbrancee.
- 1.2 In the event of non compliance by the encumbrancer with any provision hereof within seven (7) days after service of notice by the encumbrancee requiring the rectification thereof the encumbrancer will permit the encumbrancee to enter upon the land with all such workmen, plant, equipment and tools and machines as the encumbrancee may reasonably require for the purpose of carrying out such works in all things at the cost of the encumbrancer.
- 1.3 In this encumbrance :
- (a) "improve" means to erect, alter or demolish any building, shed, fence or other structure whatsoever upon the said land and "improvement" has a corresponding meaning.
 - (b) "The said land" means the land over which this encumbrance is registered or intended to be registered.

2. The encumbrancer shall pay all costs and charges and expenses incurred by the encumbrancee for the purpose of and incidental to the preparation and execution of this Memorandum of Encumbrance and any discharge thereof and the stamp duty and registration fees from time to time payable thereon AND IN ADDITION all legal costs incurred by the encumbrancee on a solicitor and own client basis in or about any action which the encumbrancee may reasonably be required to pursue for the purposes of enforcing the provisions of this Encumbrance AND IN ADDITION reasonable hourly rates for time expended by the encumbrancee from time to time in responding to any request by the encumbrancer for any consent, approval or indulgence whatsoever and/or for any matter or thing arising out of the provisions of this Encumbrance and in respect of which the encumbrancee may reasonably and properly undertake any consideration and/or action.
3. The encumbrancer acknowledges and agrees that :
 - (a) the covenants herein contained are entered into and undertaken for the purpose of the encumbrancee's scheme of development for the whole of the land comprised in the development area known as The Links -Lady Bay (the sub-division);
 - (b) notwithstanding anything to the contrary contained herein or elsewhere the encumbrancee shall have the right in its absolute and unfettered discretion at any time and from time to time to modify waive or release any covenants conditions restrictions or stipulations wheresoever herein contained relating to the said land;
 - (c) the encumbrancee shall incur no liability whatsoever to the encumbrancer and encumbrancer shall have no action cause suit or claim or demand whatsoever against the encumbrancee in respect of arising out of or in any way connected with the exercise by the encumbrancee of its said right to modify waive or release any of the said covenants conditions restrictions or stipulations herein contained or contained in any like encumbrance relating to any land comprising portion of the sub-division of which the said land forms part;
 - (d) the encumbrancee shall not be required or obliged to take any steps to enforce observance and performance by the owner of any other allotment in the subdivision or any of them of the covenants and conditions contained in any similar encumbrance registered over the title to any such allotment.
4. Any waiver by the Encumbrancee of any breach of any one or more of the covenants conditions restrictions or stipulations herein contained shall not be nor be construed to be a waiver of any subsequent or other breach of the same or any other covenant condition restriction or stipulation herein contained, nor shall any failure on the part of the Encumbrancee to require or exact full and complete compliance with any of the covenants conditions restrictions stipulations herein contained be construed as in any manner changing the terms hereof or the prevent the Encumbrancee from enforcing the full provisions hereof.
5. If any term covenant condition or provision of this Encumbrance is held by a court of competent jurisdiction to be invalid void or unenforceable the remainder of such terms covenants conditions and provisions shall remain in full force and effect and shall in no way be affected impaired or invalidated thereby.

The Links
Lady Bay

THE LINKS - LADY BAY

RESIDENTIAL DESIGN GUIDELINES

FEBRUARY 1996

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1.0 PURPOSE AND APPLICATION OF THE GUIDELINES

All residential allotments within the Links - Lady Bay Residential Estate are subject to an Encumbrance which requires that all development must obtain the prior approval of the Project Manager of The Links - Lady Bay Pty Ltd. The Encumbrance requires, amongst other things, that all development must conform to the requirements of The Links - Lady Bay Residential Design Guidelines and the accompanying Site Development Plans. This includes proposals to build a dwelling, additions to dwellings, landscaping or proposals to erect outbuildings on an allotment. In addition, all proposals to erect a dwelling on an allotment must be accompanied by a "landscape plan" which indicates the location and type of species to be planted (including anticipated maximum height) and the extent of any paving.

Careful attention should be made to all of the relevant guidelines. They are intended to ensure a consistently high quality of development and protect the interests of all residents and owners within the Estate. While some flexibility may be shown by the Project Manager in assessing proposals, variation to the guidelines will only be allowed where there are compelling reasons to do so. Therefore, if there is any uncertainty about the reasons behind or the application of the guidelines contact should be made with the Project Manager early in the design process. This will avoid the potential for delays and costs to the applicant and streamline the approval process.

Following receipt of approval from the Project Manager, the applicant will need to lodge the necessary applications and obtain approvals from the District Council of Yankalilla. This will require lodgement of the "approved" plans from the Project Manager, accompanied by the necessary forms, copies of plans and the required fees. All queries relating to this approval process should be directed to the District Council of Yankalilla. In no circumstances should an application be made to the Council without the prior "approval" from the Project Manager.

All queries and applications should be made to:

The Project Manager
The Links - Lady Bay Residential Estate
69 Anzac Highway
ASHFORD SA 5035
Phone: (08) 293 7888 Fax: (08) 293 3099

2.0 DESIRED CHARACTER

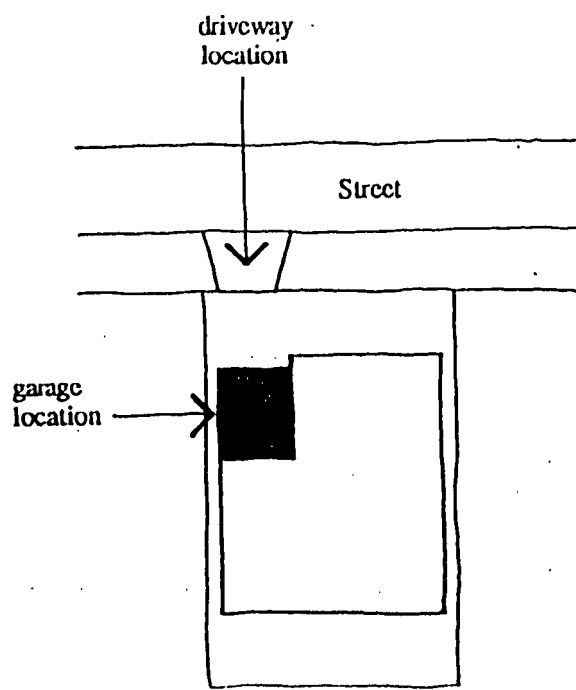
- The desired character of The Links - Lady Bay Residential Estate aims to achieve an attractive, contemporary Mediterranean character which enhances and is compatible with the surrounding natural landscape and is sympathetic to the coast and golf course setting.
- Through measures such as the appropriate choice of external materials and colours, the design, siting and appearance of dwellings and outbuildings, and the planting of suitable species of vegetation around the dwellings, residential and associated development should exhibit a high standard and have a low visual impact.
- Contemporary building designs are encouraged which comprise of the following:
 - low-reflective external finished wall colours which complement the natural colours of the landscape and are predominantly of a light colour (ie avoiding white or dark colours)
 - roof, consisting of clay or cement tiles of colours which reflect a Mediterranean character (i.e. earth tones) (refer to Section 12.2)
 - split level design (on sloping sites)
 - minimal cut and fill
 - minimal hard surface areas surrounding the dwellings
 - an orientation, design and layout which maximises the potential for passive solar heating during cooler months and minimises heat loads during the warmer months.

3.0 BUILDING SITING AND SETBACKS

3.1 SITE DEVELOPMENT PLAN

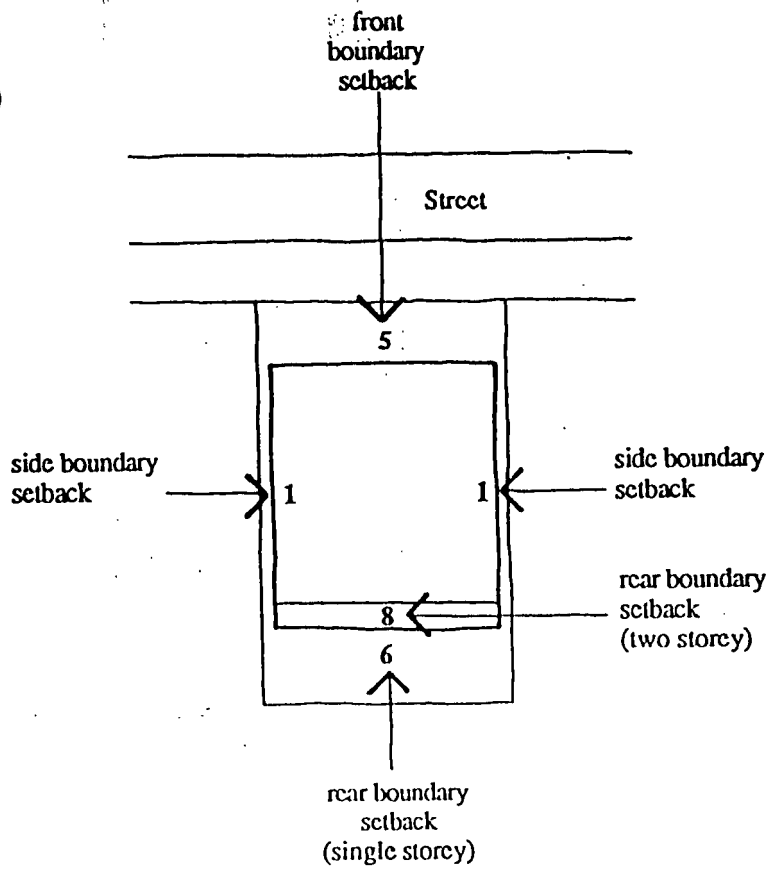
Buildings shall be sited in accordance with the Site Development Plan (refer Figure 1).

Figure 1

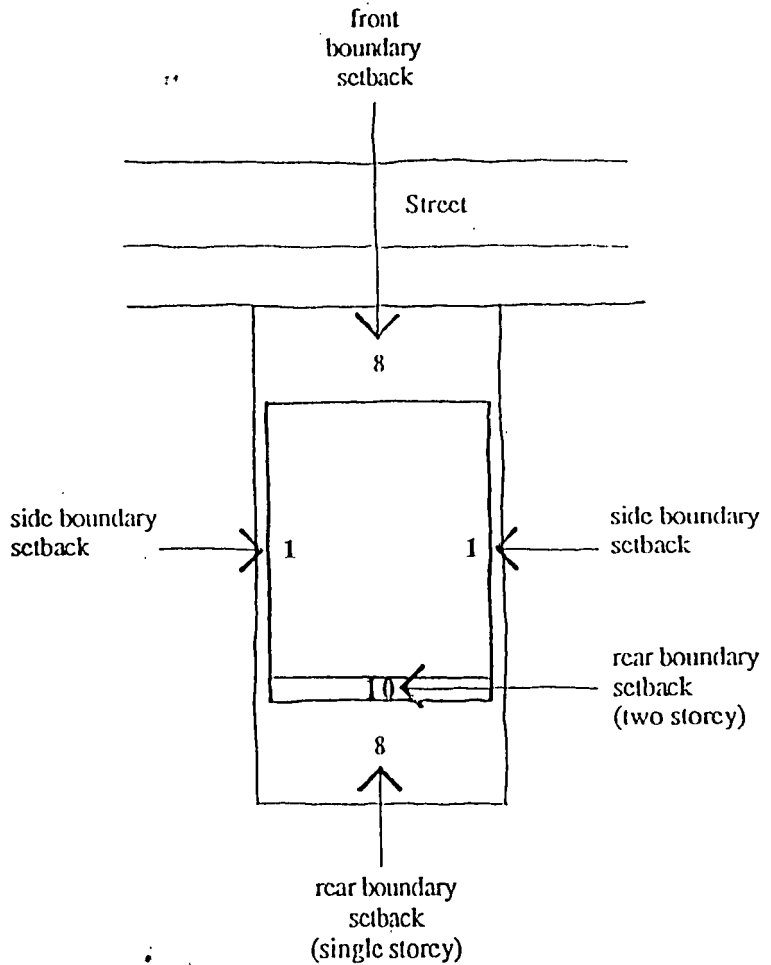


Typical Site Development Plan
for Fixed Driveway Sites

Figure 1 (Cont)



Typical Site Development Plan
Allotment < 35 metres deep
(minimum setbacks)



Typical Site Development Plan
Allotments > 35 metres deep
(minimum setbacks)

3.2 FRONT BOUNDARY SETBACKS

- Dwellings and outbuildings (including garages/carports) shall be setback the following **minimum** distances from the front property (road) boundary:

	Depth of lot < 35 metres	Depth of lot > 35 metres
Dwelling face:	5 metres	8 metres
Verandahs/Porticos	4.5 metres	6 metres
Carport/Garage	1 metre behind the main dwelling face	1 metre behind the main dwelling face

3.3 SIDE BOUNDARY SETBACKS

- Dwellings, garages/carports and outbuildings shall be setback a **minimum** of 1.0 metre from side boundaries, except:
 - where the boundary abuts a secondary street frontage (ie corner allotments) the setback shall be 2.5 metres;
 - where there is an easement adjacent to the side boundary the setback shall be as determined on the Site Development Plan.

3.4 REAR BOUNDARY SETBACKS

- Single and two storey dwellings and outbuildings shall be setback the following **minimum** distances from the rear property boundary:

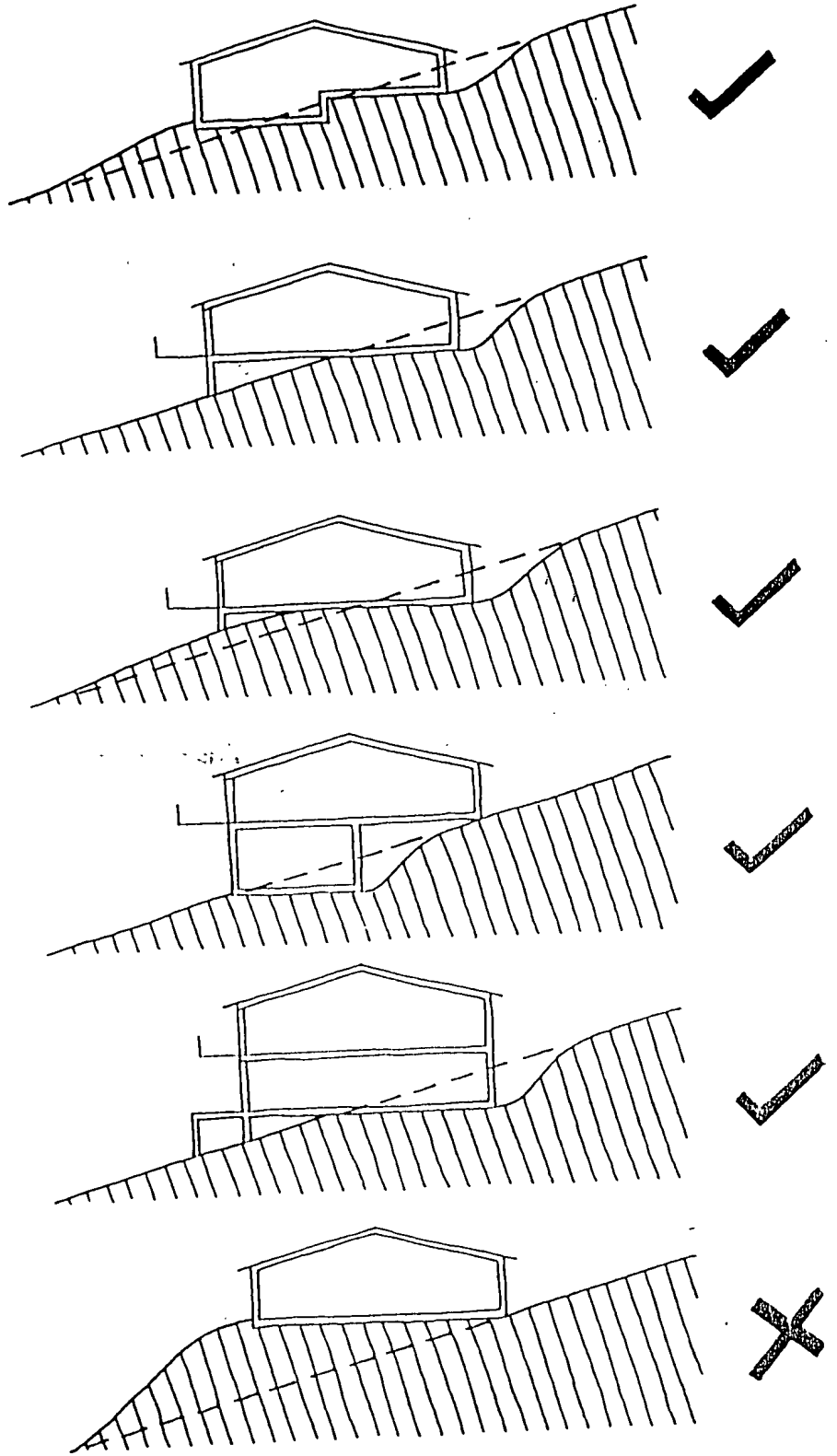
	Depth of lot <35 metres	Depth of lot > 35 metres
Single storey dwelling	6 metres	8 metres
Two storey dwelling	In accordance with Building Envelope (see Section 4)	
Outbuildings	4 metres	6 metres

4.0 BUILDING HEIGHT

4.1 GENERAL PROVISIONS

- One and two storey dwellings are permitted on all residential allotments subject to a number of design controls outlined below.
- Ground floor levels to be fixed as close to natural ground level as possible (split level construction on sloping sites is preferred).
- Cut and fill to be minimised (refer to Figure 2).

Figure 2

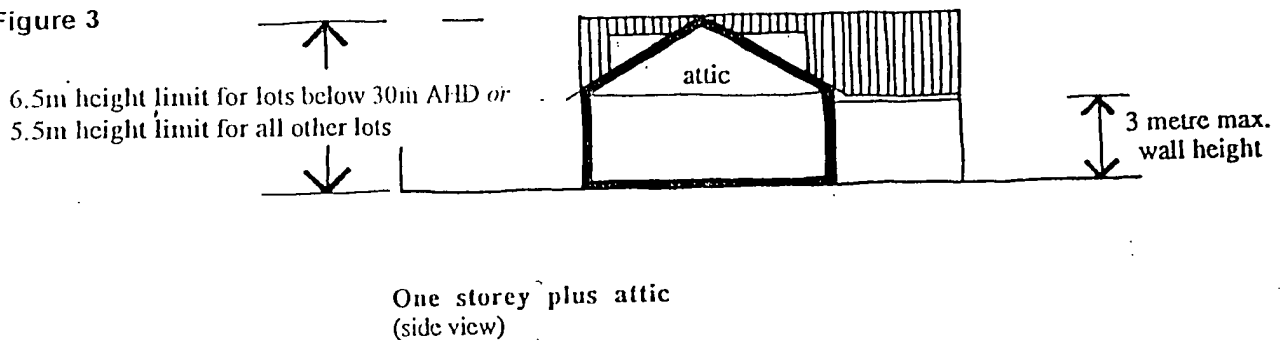


- For the purposes of clauses 3.1 - 3.3:
 - (i) two storey dwellings are defined as having a floor located wholly or partly above another floor; and
 - (ii) single storey dwellings can include floor space in the roof space provided that the roof line is not affected and that dormer windows do not cause overlooking problems for adjacent dwellings (see clause 4.0).

4.2 SINGLE STOREY DWELLINGS

- Maximum wall height of 3.0 metres above natural ground level
- Maximum ridge or gable end wall height of 6.5 metres above natural ground level for dwellings on allotments below the 30 metre A.H.D. contour (refer Figure 3).
- Maximum ridge or gable and wall height of 5.5 metres above natural ground level for all other dwellings.

Figure 3

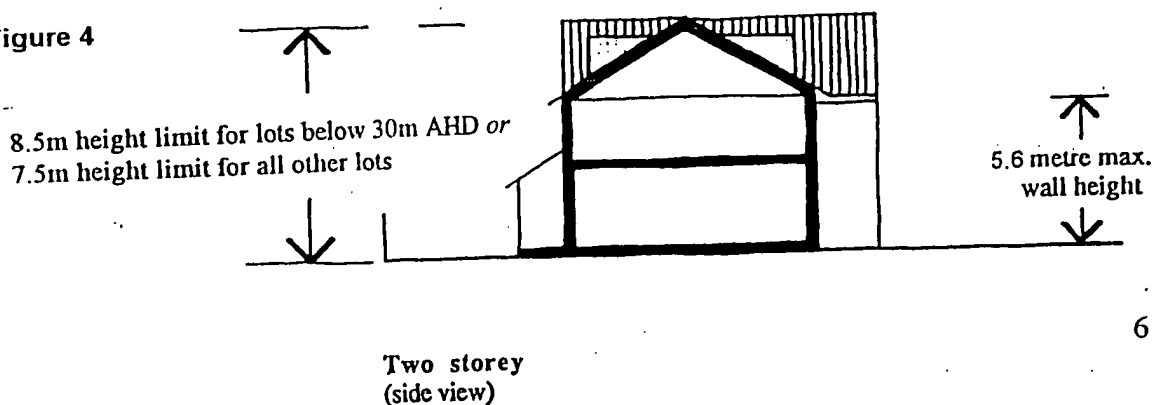


4.3 TWO STOREY DWELLINGS

4.3.1 General (ie all allotments)

- Maximum wall height of 5.6 metres above natural ground level
- Maximum ridge or gable end wall height of 8.5 metres above natural ground level for dwellings on allotments below the 30 metre A.H.D. contour (refer Figure 4)
- Maximum ridge or gable and wall height of 7.5 metres above natural ground level for all other dwellings.

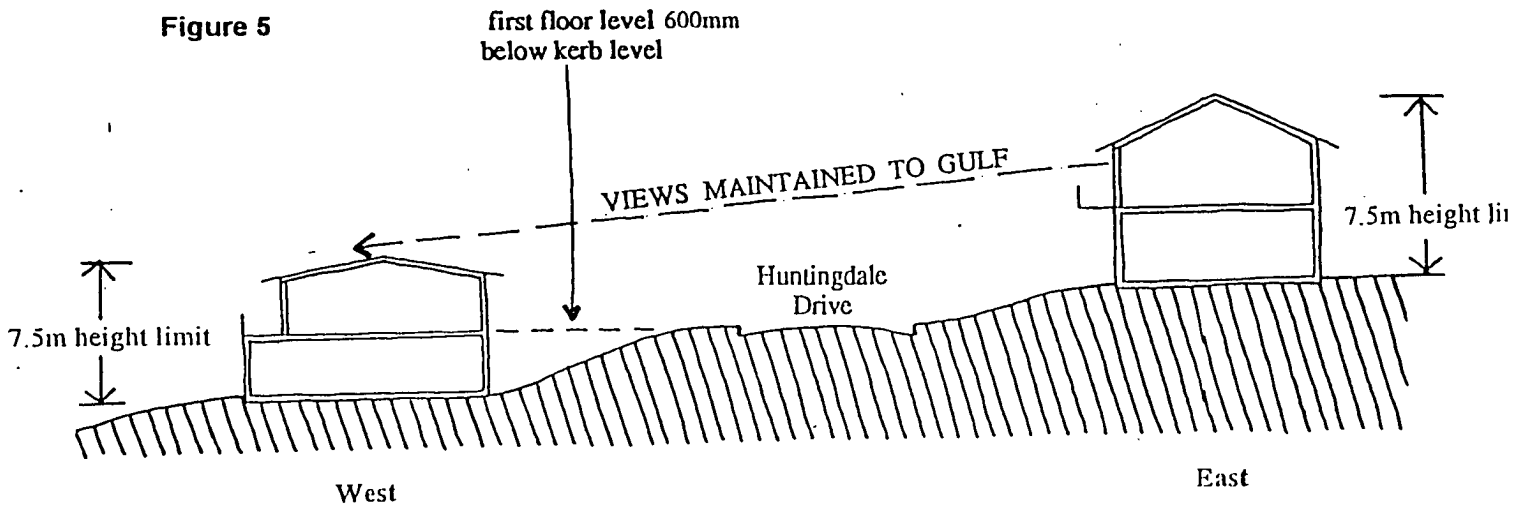
Figure 4



4.3.2 On Allotment Nos 1 - 24 - Huntingdale Drive

- In order to protect the views from surrounding allotments, two storey dwellings will only be permitted if the floor level of the upper floor is 600mm below the level of the adjacent kerb of Huntingdale Drive (refer Figure 5).

Figure 5



4.3.3 On Allotment Nos 25 - 62 Huntingdale Drive

- Dwellings shall be sited on excavated rather than filled sites in order to reduce their vertical profile.

5.0 BUILDING ENVELOPE

- Two storey dwellings shall be sited within a building envelope determined by the following method:
 - planes are projected at 45° from a height of 3.5 metres above the finished bench level at the side boundaries and either 6.0 metres (allotments less than 35 metres deep) or 8.0 metres (allotments equal to or greater than 35 metres deep) from the rear boundary to a maximum height of 7.5 metres or 8.5 metres for allotments below the 30 metre AHD contour (refer Figure 6); and

Figure 6

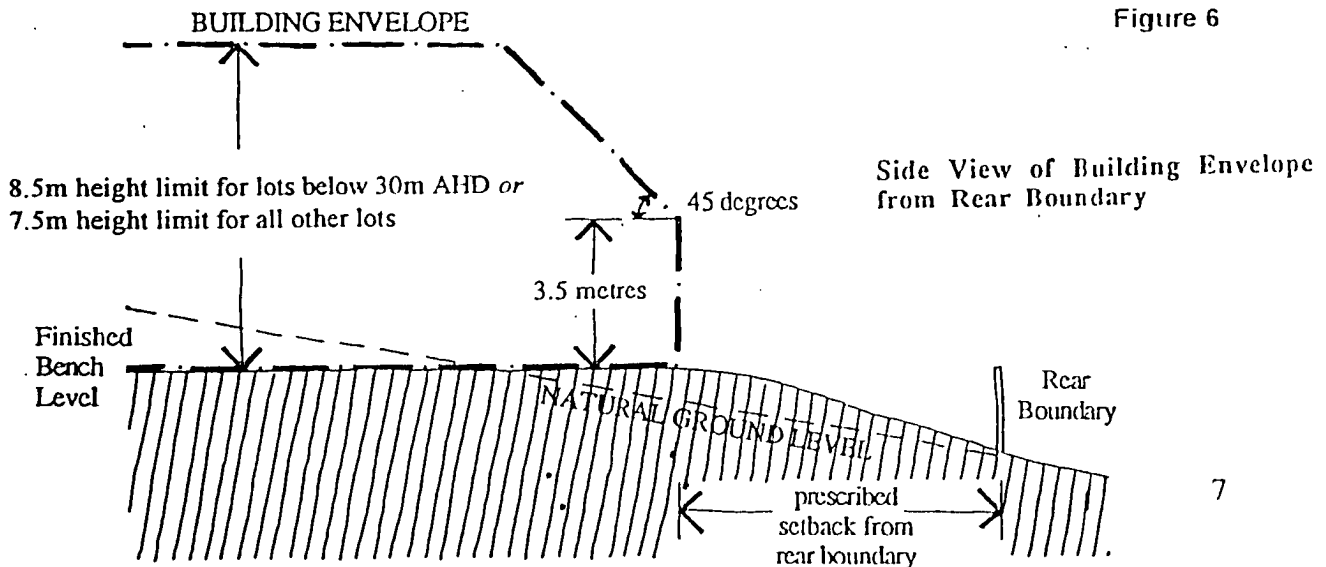
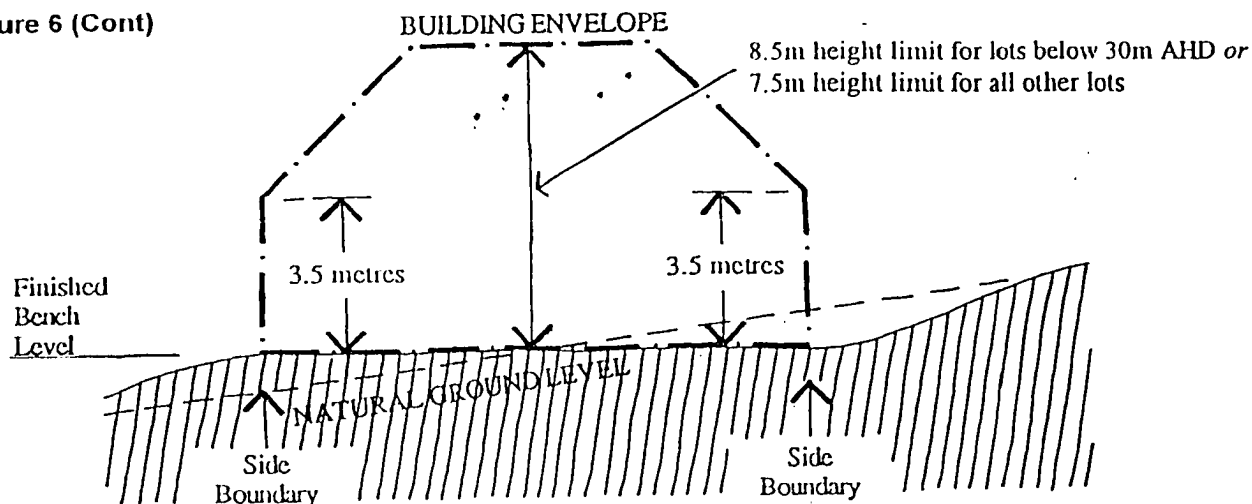


Figure 6 (Cont)



View of Building Envelope from Side Boundary to Side Boundary

b) the setback requirements stipulated in Section 3.0 above are complied with.

- Provided the distance to a boundary is not less than 1.0 metres, fascias, gutters, downpipes, eaves up to 0.6 metres, masonry chimneys, flues, pipes, domestic fuel tanks, cooling or heating appliances or other services may encroach beyond the building envelope provided it is not in contravention of any other requirement of these guidelines.
- An 'attic' storey within the roof-line can be constructed provided that it does not diminish the amenity of neighbouring houses with respect to overlooking and the main roofline (excluding dormer windows) is contained within the building envelope referred to above.

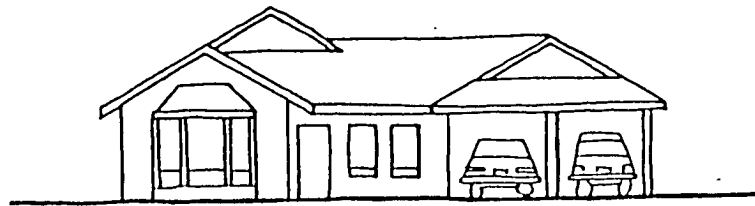
6.0 MINIMUM FLOOR AREA

- The minimum total floor area of any dwelling (not including associated garages, carports, patios, balconies or similar) shall be 120 square metres.

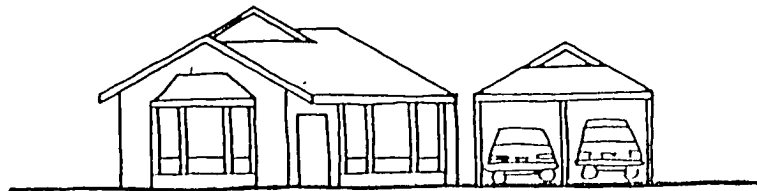
7.0 VEHICLE PARKING

- On-site vehicular parking shall be provided at a rate of one (1) covered car park per dwelling plus one (1) additional car park.
- Additional car parks can be covered or uncovered and, if uncovered, a space can be located in the driveway immediately in front of the garage or carport within the minimum setback distance.
- Garages and carports shall be provided under the main roof or, if freestanding, the roof form and materials must match those of the associated dwelling (refer Figure 7).

Figure 7



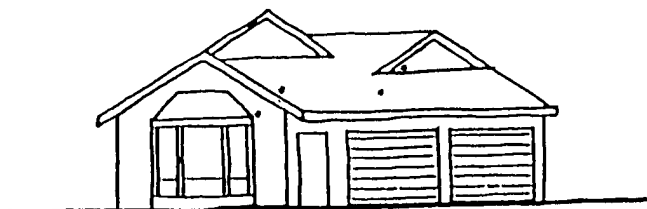
Garage provided under main roof



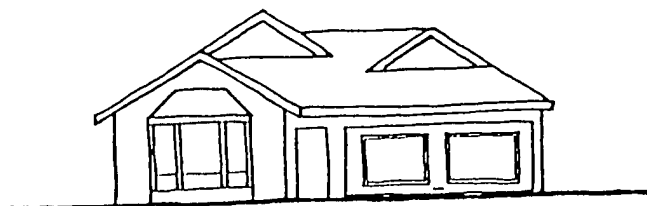
Freestanding garage/carport designed to complement dwelling

- In order to reduce the visual impact of garaging of vehicles on the streetscape character, visual interest in the door treatments should be provided.
- Double garages or carports shall use two individual door treatments and be separated by a masonry or timber column or, if double tilt-up doors are to be used, the door panel shall be moulded to provide visual interest (refer Figure 8).

Figure 8



Double garage with masonry/timber column and individual door treatment



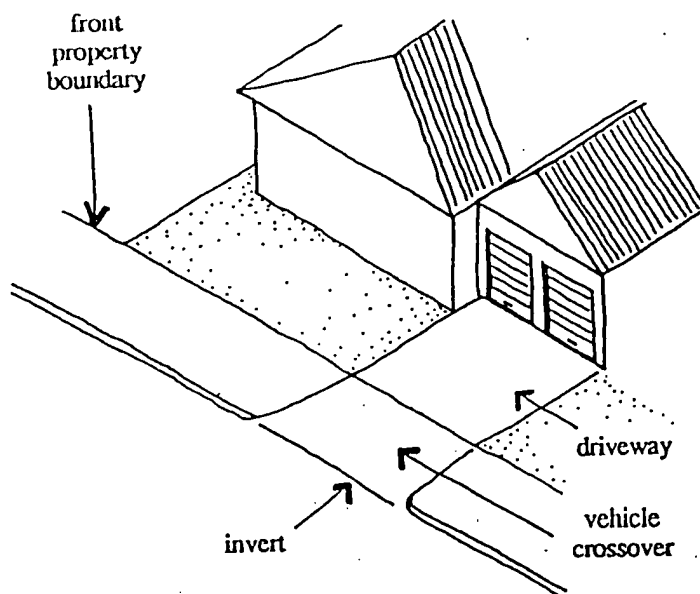
Double garage with single moulded tilt-up door

- Recreational vehicles (eg caravans, boats etc) and commercial vehicles must not be parked on a regular basis on properties forward of any part of the building.

8.0 VEHICLE ACCESS TO ALLOTMENTS AND CROSS-OVERS

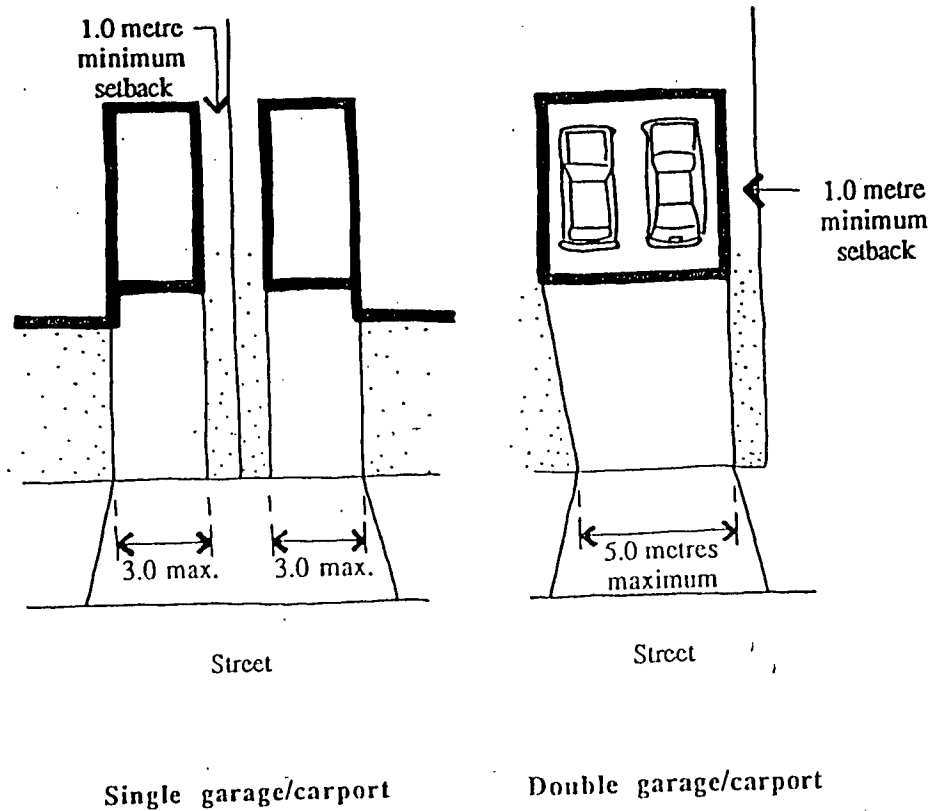
- A paved driveway and cross over shall be provided between each allotment and the road pavement or paved footpath and between the front boundary and the garage/carport (refer Figure 9).

Figure 9



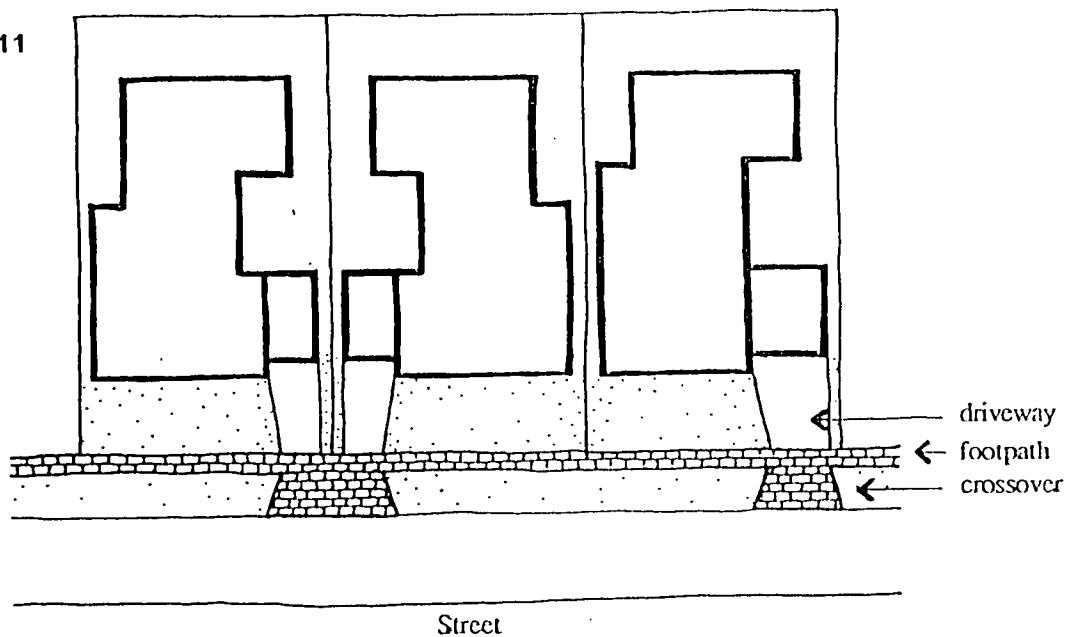
- The maximum width of driveway at the front property boundary shall be 3.0 metres and 5.0 metres for single and double garages/carports respectively, with crossovers having a maximum splay of 1.0 metres either side if necessary (refer Figure 10) to the street kerb.

Figure 10



- Vehicle cross-overs must be constructed from the same materials and colours that will be used to construct public footpaths within the road reserves. Property owners must therefore check with the District Council of Yankalilla prior to the construction of any crossovers (refer Figure 11).

Figure 11



Footpath and crossover materials/colour to be consistent

- Materials and colours of driveways should preferably match or complement those of the footpath and crossover.

9.0 DOMESTIC OUTBUILDINGS

- Domestic outbuildings should be finished in materials or colours of the fencing materials or materials or colours of the associated dwelling or be finished in colorbond of colours to match that of the fencing or the associated dwelling.
- The maximum dimensions and height of domestic outbuildings shall be as follows:

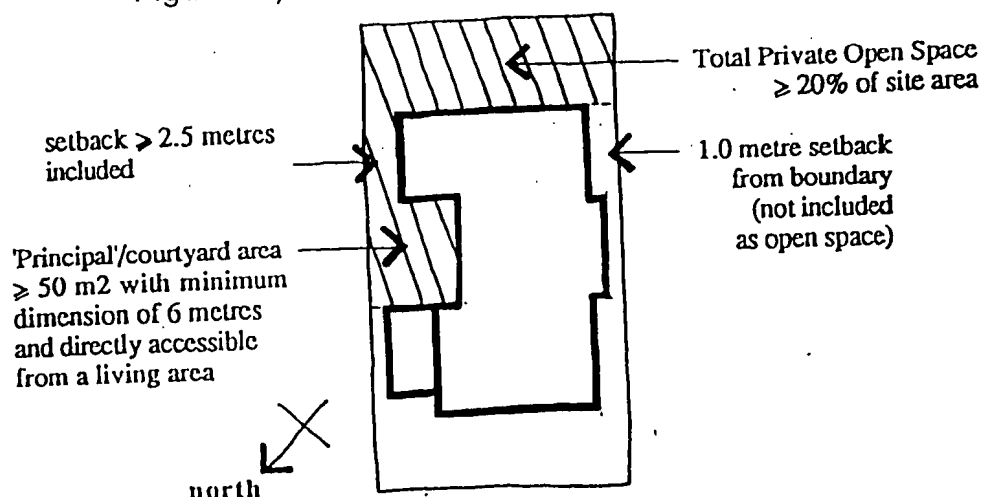
Size of allotment (M ²)	Dimensions of outbuilding (metres)	Maximum wall height (metres)	Maximum ridge height (metres)
>700	7 x 6	2.4	2.7
<700	7 x 4	2.4	2.7

- Outbuildings shall be located a minimum of 2.0 metres from the external wall of the associated dwelling.

10.0 PRIVATE OPEN SPACE

- Private open space includes open space on a site available for the exclusive use of the householder and which:
 - is screened from public areas and adjoining properties by a fence of 1.8 metres in height;
 - has a minimum dimension of 2.5 metres.
- Private open space comprising a minimum of 20% of the site area shall be provided, and shall include one 'principal' area which:
 - has a minimum area of 50 square metres;
 - has a minimum dimension of 6 metres;
 - is directly accessible from a living area of the dwelling (refer Figure 12).

Figure 12



- The principal area of private open space should, where practical, have a northerly orientation.
- A minimum of 50% of the area of open space surrounding dwellings shall not be sealed with impervious materials such as concrete, pavers or plastic membrane.

11.0 PRIVACY

- Dwellings shall be sited and designed to minimise overlooking into the private open space of adjoining allotments.
- Windows should be designed and sited to minimise the potential to overlook the private open space of and the windows of dwellings on adjoining allotments through techniques such as:
 - a) positioning windows at angles to the boundary;
 - b) using translucent glass;
 - c) using screens, wing walls etc;
 - d) having sill heights of 1.7 metres or greater above the floor level;
 - e) using translucent glass (fixed) below 1.7 metres and clear glass (fixed or openable) above 1.7 metres (refer Figure 13).

Figure 13

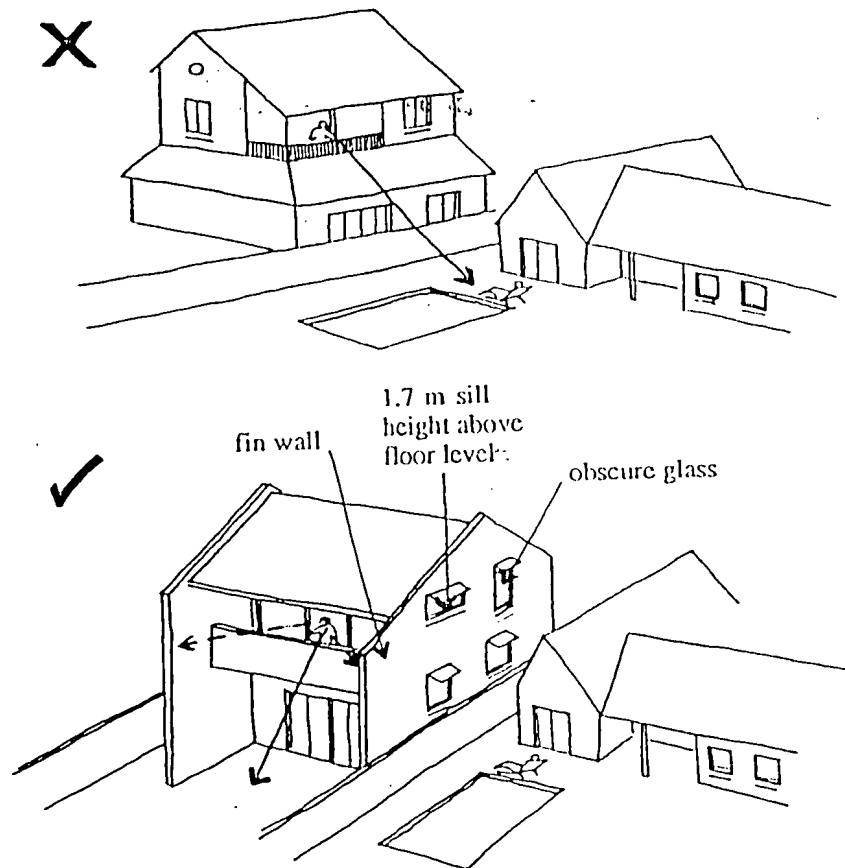
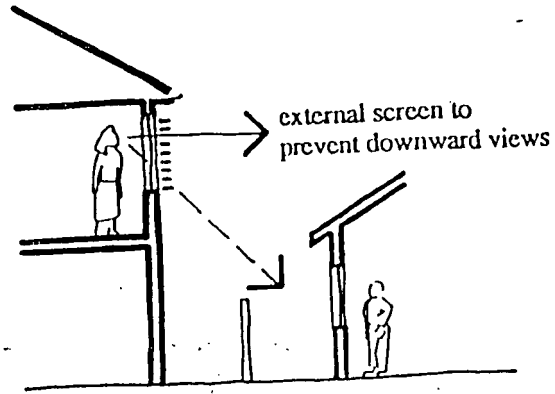
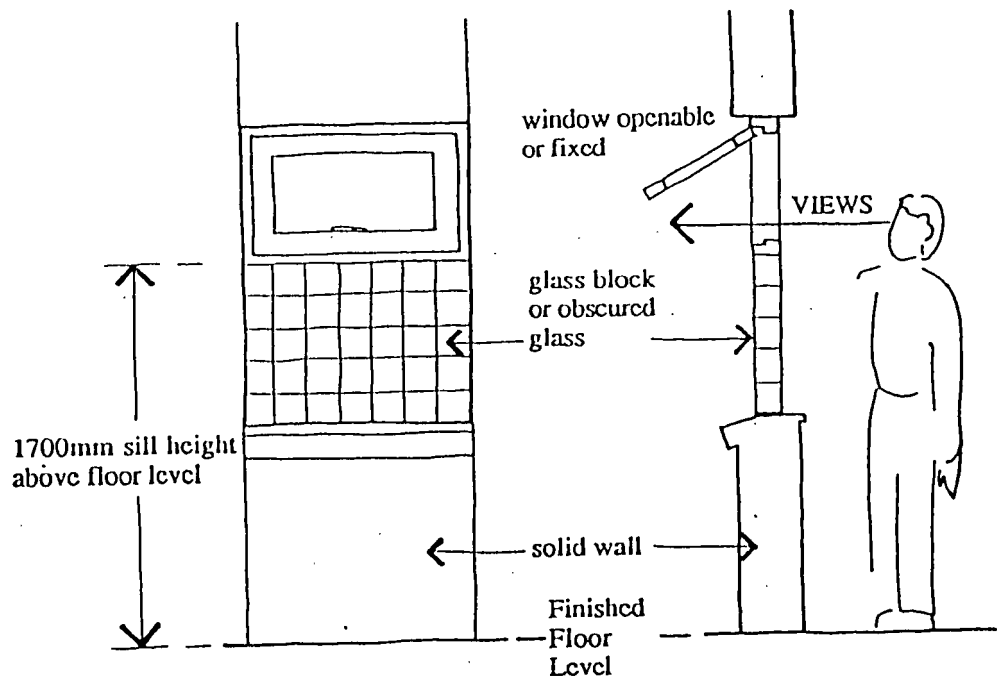


Figure 13 (Cont)



Window Screens



Upper Level Window Design
(example only)

- Upper storey balconies and terraces should be positioned and designed to minimise overlooking of private open space and the windows of dwellings on adjoining allotments.

12.0 BUILDING MATERIALS

12.1 WALLS

- External walls of dwellings should be constructed from the following range of building materials:
 - Bagged or rendered brick.
 - Cement rendered concrete or cement rendered block work.
 - Cellulose fibre reinforced cement sheeting externally coated with a seamless textured trowel-on acrylic material to a minimum of 2mm thickness (to create an external appearance similar to a rendered masonry wall).
 - Light coloured stone (eg. sandstone, limestone)
 - Tilt-up concrete slab panels (painted, rendered or faced).

12.2 ROOF

- Roof materials shall consist of terra-cotta, clay or concrete tiles selected from the following range (or similar brand and colour range): - Nubrik Roofing Tiles (Apricot, Riverclay, Barossa, Nullarbor, Barossa, Hammersley, Smokebush, Mushroom, Desert Fawn, Canyon, Kosciusko, Winton Beige, Oberon Gold), Borol Montoro Roof Tiles (Edinburgh Green, Colonial Red Brown, Garnet, Amber, Jade, Townhouse Red, Villa Orange, Colonial Brown, Ranchouse Brown, Tuscany, Peach, Ash Grey, Autumn Leaf, Silver Grey, Mocca, Sydney Red, Welsh Grey, Sunset Red).

12.3 WINDOWS

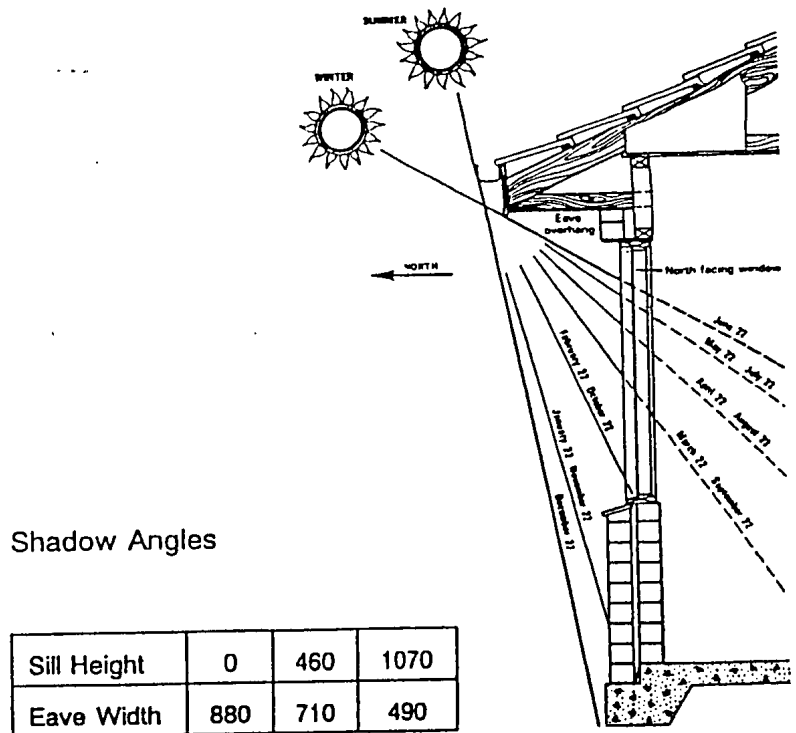
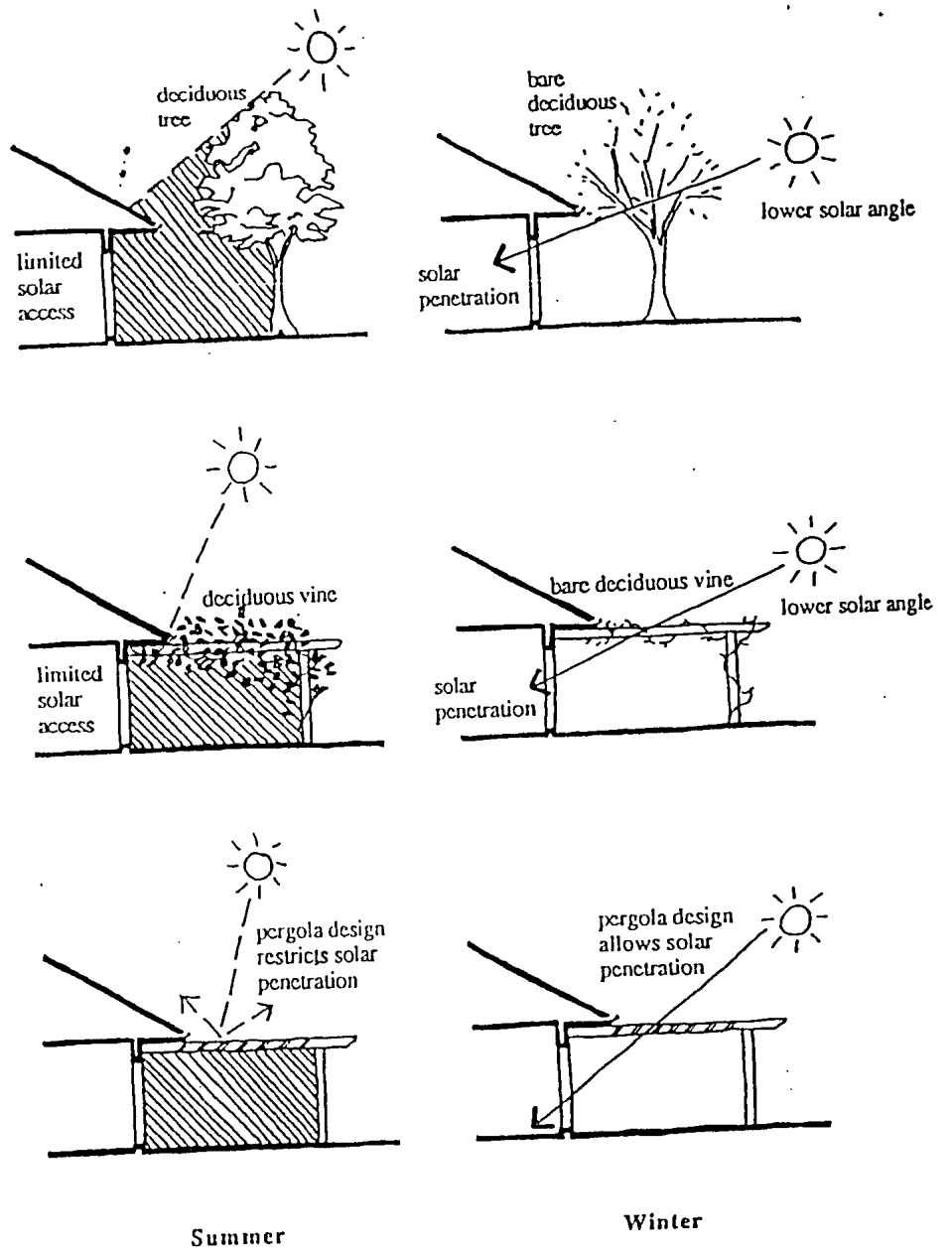
- Mirror reflective glass shall not be installed in any windows of a dwelling or outbuilding.

13.0 ENERGY AND WATER CONSERVATION

13.1 ORIENTATION AND RECEIPT OF SUNLIGHT

- Principal living rooms which have a northerly orientation shall contain windows which are designed to allow the entry of sunlight during cooler months.
- Shading devices such as wider eaves, canopies, screening devices, pergolas with deciduous vines and landscaping shall be designed and located to allow the entry of sunlight during cooler months and the shading of sunlight during warmer months into north, west and east facing windows (refer Figure 14).

Figure 14



Shadow Angles

Sill Height	0	460	1070
Eave Width	880	710	490

- Many of the allotments have wonderful views to the west or south. Energy efficient design principles advocate small, if any, areas of west or south facing glass, and therefore special consideration will need to be given to designing appropriately for both the views and energy conservation.

The most effective means of achieving this is to:-

- limit the extent of glazing while providing for the views
- use external shading devices in summer for west facing windows
- use wider eaves for west facing windows
- use double glazing and/or special glass to limit heat gain in summer and heat loss in winter
- maximise opportunities for cross-ventilation by designing openable windows to create air flows (eg elevated central windows can allow hot air to drain from the building).

13.2 INSULATION

- All external walls and inaccessible parts of the ceiling of all dwellings shall be insulated at the time of dwelling construction to the equivalent of not less than:
 - a) 1.2 R rated insulation material in walls; and
 - b) 2.0 R rated insulation material in ceilings
- All ceiling areas are to be insulated with the equivalent of not less than 2.0 R rated insulation material

13.3 DRAUGHT EXCLUDERS/WEATHER SEALS

- Draught excluders/weather seals shall be fixed to all external doors.

13.4 RAIN WATER TANKS

- If a rainwater tank is provided, its maximum height shall be 2.4 metres, it should be appropriately screened from view from adjoining properties, and it should be finished with a colour that blends in with the natural landscape.
- The overflow from all rainwater tanks shall be directed via underground stormwater pipes to the street or rear-of-block drainage network within the allotment.

14.0 FENCING

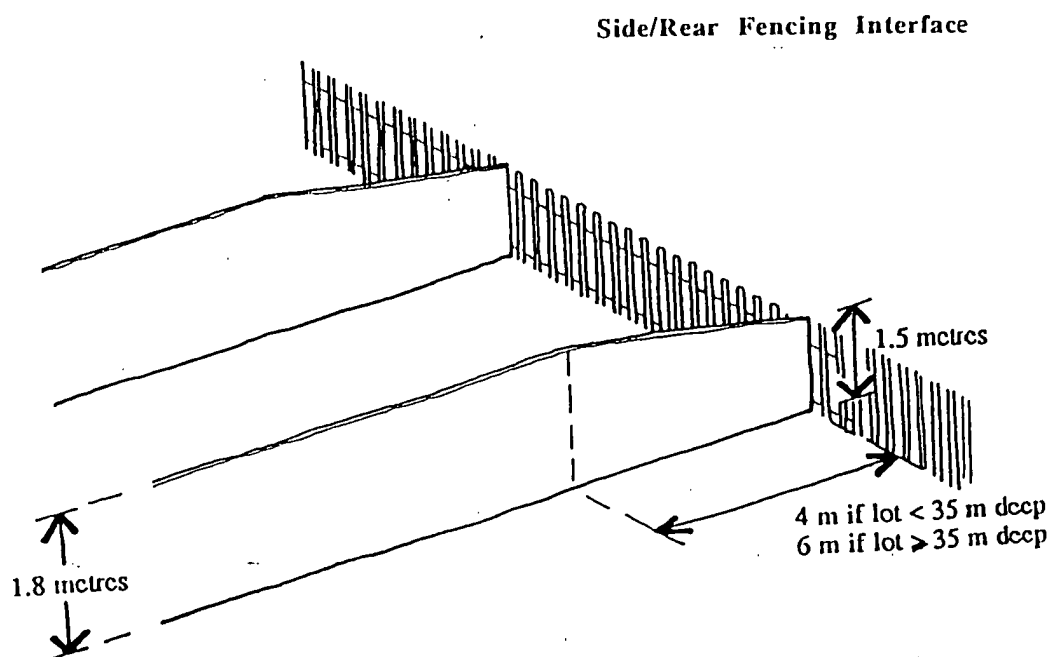
14.1 FRONT FENCING

- Fencing shall not be constructed along the front property boundary or along the side boundaries between the front property boundary and the frontage of the dwelling.

14.2 SIDE AND REAR BOUNDARY FENCING

- Side and rear boundary fences (except adjacent to public roads and the golf course) shall be constructed of 1.8 metres high colorbond material (custom orb/corrugated profiles are not permitted) of 'mist green' finish or equivalent, bagged or rendered brick or blockwork of 'mist green' or equivalent colour, or brush.
- Fences on side or rear boundaries adjacent to public roads shall be constructed of 1.8 metre high:
 - a) brush;
 - b) masonry, designed to complement masonry walls of the associated dwelling; or
 - c) masonry plinth and pier fencing with brush or fibrous cement sheeting infill (materials selected to complement materials used in the associated dwelling).
- Side boundary fencing within 6.0 metres of the golf-course for lots with a depth > 35 metres or within 4.0 metres of the golf course for lots with a depth < 35 metres shall range in height from 1.8 metres at a point 6 metres and 4 metres respectively from the rear boundary to 1.5 metres at the rear boundary (refer Figure 15).

Figure 15



- Rear boundary fencing adjacent to the golf course, if provided, shall be constructed of open style materials such as tubular fencing (to allow clear visibility through the fence), to a height of 1.5 metres and shall be finished in a 'mist green' or equivalent colour.
- Rear and side boundary fencing adjacent to public roads shall be constructed of 1.8 metre high:
 - a) brush with rolled brush capping; or
 - b) masonry designed to compliment masonry walls of the associated dwellings.
- The maximum build-up of fencing along the side and rear boundaries is 2.0 metres, comprising a maximum of 1.8 metre high fence and a maximum of 200mm built-up area (ie retaining wall). This height restriction is aimed at limiting the height of fencing for residents living on the low side.

15.0 LANDSCAPING

- A "landscape plan" indicating the location and type of species to be planted (including anticipated maximum height) and the extent of any paving or other hard surface areas within the allotment shall be submitted to the Project Manager for "approval".
- Trees, shrubs or any other vegetation which is likely to reach a height in excess of 4 metres shall not be planted on allotments if such vegetation is likely to lead to a significant loss of views (e.g. over the golf course, over the gulf or towards the rural hinterland) to adjoining property owners.
- Landscaping of front garden areas to the kerbline shall be established within six months of completion of the dwelling and shall be maintained in perpetuity.
- The area of land between the front property boundary and the kerbline shall be suitably prepared and sown with grass/lawn seed appropriate to the district and irrigated and maintained in perpetuity.

16.0 MISCELLANEOUS REQUIREMENTS

- All utility and mechanical equipment (eg air conditioners, satellite dishes, solar water heating receptors etc) shall be located below the ridge line of the roof and screened from public view (ie public road, golf course and reserves). Where this is not possible because of the orientation of the dwelling careful attention must be paid to the architectural integration of the system/equipment with the dwelling/roof.

- All utility and mechanical equipment likely to generate noise should be located such that the risk of adverse noise impacts to adjacent residents is minimised, (eg located away from adjacent bedroom windows).
- Vents, exhaust fans, ducts, and pipes shall not project beyond the ridge height of the roof and shall be located to ensure they are not visible from a public road.
- Antennae shall be located within the roof space unless it can be demonstrated that reception is adversely affected. In such cases, they shall be located so as not to be visible from a public road and shall not be higher than the ridge line of the roof.