



Goulburn Mulwaree Council
Locked Bag 22
Goulburn NSW 2580

Civic Centre
184 - 194 Bourke Street
Goulburn NSW 2580
t (02) 4823 4444
e council@goulburn.nsw.gov.au
www.goulburn.nsw.gov.au

2 May 2025

IMT Australia Group Pty Ltd
C/- PO Box 516
GOULBURN NSW 2580

Dear Applicant,

SUBJECT: APPROVED CONSTRUCTION CERTIFICATE – CC/0137/2425
LOCATION: LOT 83 DP 750045, NORWOOD ROAD MIDDLE ARM NSW 2580
PROPOSAL: CONSTRUCTION OF A FARM BUILDING WITH INTERNAL AMENITIES

Please be advised that Construction Certificate CC/0137/2425 in relation to the subject premises has been issued by Goulburn Mulwaree Council pursuant to the provisions of the *Environmental Planning & Assessment Act 1979* (see attached).

Please find attached the following documentation in relation to the subject Construction Certificate:

- Construction Certificate
- Schedule of Approved Documents;
- Notice of Inspections
- Schedule of Progress Certificates;
- Notice of Commencement of Building Works

Please note that to date Council has not been formally appointed as the Principal Certifier (PC) for the development. At least two days prior to the commencement of **any works** a Principal Certifier (PC) must be appointed by the applicant.

The applicant may appoint either Council or an Accredited Certifier to act as the PC. The role of the PC is to ensure that the building work has and is being executed in accordance with the development consent and relevant building regulations and includes the undertaking of the mandatory critical stage inspections and assessing the application for an Occupation Certificate.

Should you wish to engage Council as your PC, please find attached link to [Councils Certification Contract](#) which is required to be completed and lodged as a post consent certificate (PC Appointment) via the NSW Planning Portal. Payment of inspection fees will be required prior to Council accepting appointment as the PC.

Failure to appoint a PC may lead to the inability to issue an Occupation Certificate, the serving of penalty notices or other legal actions to prosecute this offense under the *Environmental Planning & Assessment Act 1979*.

Should you have any further enquiries or wish to discuss the matter, please contact one of Councils Certifiers Monday to Friday during business hours on (02) 4823 4444.

Links: [GMC Contract for Certification Work](#)

Yours faithfully,

Melissa Malone
Building Surveyor



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CONSTRUCTION CERTIFICATE

Issued in accordance with Section 6.7 and 6.8 of the Environmental Planning & Assessment Act 1979 &
Part 3 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

This Certificate is issued to –

IMT Australia Group Pty Ltd
C/- PO Box 516
GOULBURN NSW 2580

CERTIFICATION

Goulburn Mulwaree Council certifies that work completed in accordance with documentation accompanying the application for the certificate will comply with the requirements of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021* as referred to in Section 6.6 of the *Environmental Planning and Assessment Act 1979*.

Construction Certificate No.	CC/0137/2425
Determination:	The Construction Certificate is approved.
CC Determination Date:	17 April 2025
Land to be Developed:	Lot 83 DP 750045 Norwood Road MIDDLE ARM NSW 2580
Description of Work:	Farm Building with Amenities
Classification(s) under the Building Code of Australia (BCA):	10a
Building Code of Australia edition considered for this Certificate:	BCA 2022 Volume 2
Development Consent No:	DA/0109/2324
DA Determination Date:	3/09/2024
Plans and Specifications Approved:	Plans and specifications stamped by Goulburn Mulwaree Council on 2/05/2025 as Construction Certificate CC/0137/2425 and listed in the attached schedule of approved documents.
Attachments:	1. Schedule of Approved Documents; 2. Notice of Inspections 3. Schedule of Progress Certificates; 4. Notice of Commencement of Building Works 5. Summary of Charges
Certifying Authority:	Goulburn Mulwaree Council
Name and registration number:	 Melissa Malone Building Surveyor, BDC BPB1021

ATTACHMENT 1

SCHEDULE OF APPROVED DOCUMENTS

A) SCHEDULE OF STAMPED AND APPROVED DOCUMENTS

Architectural plans prepared by Tim Lee Architects Pty Ltd			
drawing no.	rev	title of plan or document	date.
A-01	B	Title Sheet	5.3.2024
A-03	B	Compliance Notes	5.3.2024
A-04	B	Overall Site Plan	5.3.2024
A-05	B	Detailed Site Plans	5.3.2024
A-06	B	Ground Floor Plan	5.3.2024
A-07	B	Loft Floor Plan	5.3.2024
A-08	B	Roof Plan	5.3.2024
A-09	B	Elevations	5.3.2024
A-010	B	Elevations	5.3.2024
A-11	B	Section	5.3.2024
A-12	B	Window and Door Schedule	5.3.2024
A-14	B	Erosion Control Notes and Plan	5.3.2024
A-15	B	Cut and Fill Plan	5.3.2024
A-16	B	3D Concept	5.3.2024
Documentation prepared by various			
document ref.	rev	title of plan or document	date.
24907	-	Plan showing detail survey and contours prepared by Premise Pty Ltd	2.1.2023
0922-1515	-	Statement of Environmental Effects prepared by Tim Lee Architects Pty Ltd	August 2023
-	-	Site and Soil Assessment for On-site Effluent Disposal prepared by Richard Miller of Land Capability Services Pty Ltd	August 2023

B) SCHEDULE OF SUPPORTING DOCUMENTS

Reference / Dwg. No.	Title / Description	Prepared By	Date
0517672653	Engineering Schedule & Plans	Emerald Design & Construction	21.02.2025
S00, S100, S200	Structural Engineering Plans	ACT Consulting Engineers	29.01.2025

ATTACHMENT 2

NOTICE OF INSPECTIONS

Section 6.6(2)(b) Environmental Planning and Assessment Act 1979

Property Address: Norwood Road MIDDLE ARM NSW 2580
DA No: DA/0109/2324
CC No. CC/0137/2425
Description: Construction of a Farm Building with Amenities
Principal Certifier Goulburn Mulwaree Council

This Notice provides details of the critical stage inspections which are required to be carried out during the course of construction works.

Please note that these inspections are in addition to any plumbing and drainage inspections required to be carried out under any related Section 68 approval.

CRITICAL STAGE INSPECTIONS

Type of Inspection	Inspection Details
Pier/Pad Footing Inspection:	Prior to the placement of concrete for any footings supporting a structure;
Strip Footing inspection:	Prior to the placement of concrete in any concrete strip footing.
Slab Steel Inspection:	Prior to the placement of concrete in any reinforced concrete slab.
Frame Inspection: (Wall & Roof)	After external wall cladding, roof covering and windows installed and with electrical and plumbing services installed (prior to insulation and internal wall/ceiling linings).
Wet Area Flashing Inspection:	Prior to covering waterproofing in any wet areas (i.e. prior to covering with tiles or screed bed).
Stormwater Drainage Inspection:	Prior to backfill / covering of stormwater drainage lines.
Final / Completion Inspection:	On completion of the development and prior to the issue of an Occupation Certificate.

The above listed works may not be covered until a satisfactory result is obtained from the Principal Certifier (PC) or his/her duly appointed delegate.

It is the responsibility of the Principal Contractor to ensure that all inspection bookings are made in accordance with these requirements.

Where an inspection reveals unsatisfactory or defective results, or works are not ready for inspection, a reinspection may be required, and fees may be applied for any additional inspections.

Failure to book an inspection, or failure to carry out any required rectification works, may result in an Occupation Certificate being refused. It is an offence to occupy or use the development without an Occupation Certificate.

Only the PC has the authority to issue an Occupation Certificate for works authorised under this approval.

To arrange an inspection please call Council on (02) 48 234 444 giving at least 48 hours' notice and provide the following information to the officer taking your call:

- Type of inspection (refer to list above).
- Address of where the inspection will take place.
- Contact name and telephone number of the relevant contact person.
- Application reference number (DA, CC or CDC number).

ATTACHMENT 3

SCHEDULE OF PROGRESS CERTIFICATES

The following documentation and Compliance Certificates must be submitted to Goulburn Mulwaree Council as the Principal Certifier (PC) for the development at the construction stages referenced below:

PRIOR TO COMMENCEMENT**PRIOR TO COMMENCEMENT DEVELOPMENT CONSENT CONDITIONS****NOTICE OF COMMENCEMENT**

At least 2 days prior to work commencing on site the PC must be informed, by the submission of a Notice of Commencement (see attached form) in accordance with Section 6.6 of the *Environmental Planning & Assessment Act 1979* of the name and details of the principal contractor and the date construction work is proposed to commence.

PRIOR TO FRAME INSPECTION**PREFABRICATED ROOF TRUSS AND WALL FRAME DETAILS**

Prior to the frame inspection, certification/details from the Frame Manufacturer/Supplier that demonstrate compliance with AS1684 "Timber Framing Code" and AS1170 "Structural Design Actions" shall be provided. In this regard the following shall be submitted to the Principal Certifier (PC) prior to commencement of work at this stage:-

- (i) Details of the design criteria used in preparation of the frame by the manufacturer, i.e. design gust wind speed, shielding co-efficient and terrain category.
- (ii) A timber frame wall brace layout in the form of a floor plan indicating locations and types of bracing and tie-downs.
- (iii) A roof truss / frame layout and design, inclusive of hold-down details, bracing details and uplift report.

PRIOR TO FINAL INSPECTION / ISSUE OF OCCUPATION CERTIFICATE**PRIOR TO OCCUPATION CERTIFICATE DEVELOPMENT CONSENT CONDITIONS****IDENTIFICATION SURVEY**

An identification survey prepared by a Registered Land Surveyor shall be submitted to the Principal Certifier prior to the issue of any Occupation Certificate to demonstrate that all buildings and structures have been constructed entirely within the allotment boundary and in accordance with the approved plans.

PLUMBING AND DRAINAGE FINALISATION

Documentary evidence from Council is required to confirm that a satisfactory Section 68 final inspection of the water plumbing and sewer drainage has been conducted by Council as the Water and Sewer Authority.

CERTIFICATE OF COMPLIANCE PLUMBING

A Compliance Certificate (CoC) and a Sewer Service Diagram (SSD) as issued by the licensed plumber who submitted the Notice of Work must be issued to Council prior to the issue of an Occupation Certificate.

TERMITE RISK MANAGEMENT CERTIFICATE

Certification by the Installer of the Termite Barrier detailing the system installed, location and compliance with AS3660 - 2014 "Termite Management" is to be submitted to the Principal Certifier prior to the issue of an Occupation Certificate.

BASIX COMPLETION STATEMENT

The Principal Contractor is to provide a written statement confirming that all BASIX commitments listed in the approved BASIX Certificate have been installed prior to the issue of an Occupation Certificate.

WET AREA FLASHING CERTIFICATE

Building elements in wet areas within a building must be waterproof or water resistant in accordance with the provisions of Part 10.2 of the ABCB Housing Provisions or Australian Standard AS3740-2021. The installer

shall provide certification for the installation of the approved wet area flashings to the Principal Certifier (PC) prior to the issue of an Occupation Certificate.

WAE - STORMWATER INSTALLATION

A Works as Executed (WAE) plan of the stormwater installation prepared by the responsible Plumber, that states general compliance with the approved plans and/or Conditions of Consent shall be provided to the Principal Certifier prior to the issue of an Occupation Certificate.

IDENTIFICATION SURVEY –

An identification survey prepared by a registered Land Surveyor is to be submitted to the Principal Certifier upon completion of the development indicating the proximity of all buildings and structures on the site in respect to the allotment boundaries prior to the issue of an Occupation Certificate.

WATER AUTHORITY CERTIFICATE OF COMPLETION

A Certificate of Compliance under Section 307 of the Water Management Act 2000 shall be provided to the Principal Certifier prior to the issue of an Occupation Certificate.

SLIP RESISTANCE - RAMPS & STAIRCASE CERTIFICATE

Certification from an appropriately qualified person shall be provided to demonstrate that any ramps & stair treads have a non-slip surface or nosing strip in accordance with Part 11.2.4 of the ABCB Housing Provisions and AS4586 – 2013, prior to the issue of an Occupation Certificate.

STRUCTURAL ENGINEERING

Prior to the issue of an Occupation Certificate, certification for the following completed structural components of the building shall be lodged with the Principal Certifier (PC):

- a) Reinforced concrete strip and pad footings;
- b) Reinforced concrete raft slab;
- c) Suspended reinforced concrete slabs;
- d) Structural steelwork;
- e) Structural timber work exceeding the design parameters of AS1684 "National Timber Framing Code";
- f) Retaining walls;
- g) Roof trusses;
- h) The existing structure is to be certified as being structurally adequate to carry out the proposed additional loadings;

The name, address and qualifications of the Structural Engineer certifying the constructed works shall be clearly indicated on the certificate. Such engineer is to hold qualifications appropriate to the project as defined in the Building Code of Australia. The certificate shall relate to the particular site, reference the structural engineering plans, relevant BCA Part/s and Australian Standards.

OCCUPATION / FINALISATION OF THE DEVELOPMENT

An Occupation Certificate must be issued by the Principal Certifier prior to the use or occupation of the development, in accordance with Section 6.9 of the *Environmental Planning & Assessment Act, 1979*. An application for an Occupation Certificate must be lodged via the NSW Planning Portal prior to the issue of any Occupation Certificate.

ATTACHMENT 4

NOTICE OF COMMENCEMENT OF BUILDING WORKS

Please complete and confirm the following details and upload to the NSW Planning Portal (PC Appointment) a minimum of 2 days before any work commences

Construction Certificate Number:	CC/0137/2425
Development Description:	Construction of a farm building with internal amenities
Subject Land:	Lot 83 DP 750045 Norwood Road MIDDLE ARM NSW 2580
Proposed date that building works will commence:	
Statement of Compliance:	Have all conditions of the development consent that must be addressed prior to the commencement of work been satisfied? Yes ☐ No ☐
Land Owners Name:	
Land Owners Signature:	
Date of Notice:	

PLEASE SELECT ONE (1) OF THE FOLLOWING:

☐ **PRINCIPAL CONTRACTOR**

For “residential building work” (including residential dwellings and outbuildings such as garages, pools etc.) having a contract value/s exceeding \$20,000 including any amounts paid in respect of connecting or installing services or issuing development or building consents, the licensed builder must obtain Home Building Compensation Fund Insurance (HBCF) and **A COPY OF THE INSURANCE CERTIFICATE MUST BE ATTACHED TO THIS NOTICE AND SUBMITTED TO COUNCIL.**

Company Name:	
Builders Name:	
Builders Licence No:	
Insurance Certificate No:	
Contract value/s for all “residential building works”:	(Provide value and attach copies of all contracts where the value is less than \$20,000 and no HBCF Insurance Certificate is provided).
Postal Address:	
Email:	
Phone:	

☐ **OWNER BUILDER**

For “residential building work” valued more than \$10,000 including residential outbuildings such as garages and pools either an appropriately licensed principal contractor must be appointed, or the owner must obtain an owner builder permit and **A COPY OF THE OWNER BUILDER PERMIT MUST BE ATTACHED TO THIS NOTICE AND SUBMITTED TO COUNCIL.**

Owner Builder Name:	
Owner Builder Permit No (for works over \$10,000):	
Postal Address:	
Email:	
Phone:	

- If you require an Owner Builder Permit or have any enquiries in relation to the process to obtain an Owner Builder Permit please contact Service NSW: [Service NSW](#).
- “residential building work” is defined in Schedule 1 of the Home Building Act 1989.

ATTACHMENT 5

THIS FORM MUST BE PROVIDED TO COUNCIL WITH PAYMENT OF CHARGES AND DOES NOT FORM PART OF THE NOTICE OF DETERMINATION

SUMMARY OF CHARGES 24/25 RATE

Charges are reviewed quarterly in line with the Consumer Price Index, and the contribution rates are to be confirmed prior to payment. A copy of Council's fees and charges is available free of charge on Council's website.

Copy of this form and the receipt must be provided to Planning and Development Business Unit

DA Number: DA/0109/2324

Applicant: IMT Australia Group Pty Ltd

C/- PO Box 516

GOULBURN NSW 2580

Owner: IMT Australia Group Pty Ltd

Subject Land: Lot 83 DP 750045, Norwood Road MIDDLE ARM NSW 2580

Description	Mnemonic	Unit	Rate	Amount	Comments
Non Plan Payments					
Rural Addressing – Supply and installation of rural addressing numbers	PJ100070100140363	Per number set	\$125		
Water and Sewer (drainage) inspections (Max 4 inspections)	S68Inspect		\$240	\$960	Payable against S68 Application
Class 1 & 10 Inspections (Max 3 Inspections)	Class1&10		\$240 each	\$720	Payable against S68 Application
Individual Inspections, additional inspections or re-inspections			\$220 each		Levied if an inspection fails and reinspection is required



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Contract for the Carrying out of Certification Work (Building)

Pursuant to the *Environment Planning and Assessment Act 1979* & the *Building and Development Certifiers Act 2018*.

PART A: INTRODUCTION

This is a Contract between Goulburn Mulwaree Council (the Council) and the Client (as nominated below) and relates to the following Certification Work (please indicate by 'X' which of the following applies):

- Appointment as the Principal Certifier (PC): ☒
- Construction Certificate*: ☒
- Occupation Certificate*: ☐
- Complying Development Certificate*: ☐
- Inspection and issuing of Swimming Pool Certificate/s: ☐

*Note: These certificates are 'Development Certificates' for the purposes of this Contract.

PART B: DEVELOPMENT DETAILS

Development Details

Description of Development: CONSTRUCTION OF A FARM BUILDING WITH INTERNAL AMENITIES.

Lot/s: 83 Sec: — DP: 750075

Street Address: NELWOOD RD.

Suburb: MOOLE ARMY Postcode: 2580

Details of Approvals (if known)

DA or CDC No. DA/0107/2327 Issue Date: 3/9/2024

CC No. Issue Date:

Please Note: All plans, specifications and related documents issued in connection with the relevant approvals, including any modifications form part of this contract.

PART C: APPLICANT DETAILS

Name of Applicant: IMT AUSTRALIA GROUP PTY LTD CL- ANDREW O'SHEA

Postal Address: CL- P.O. BOX 516 GOULBURN NSW 2580

Contact Phone Number: 0404 005 554

Email: andrew@imtaustralia.com

Please note: The Principal Certifier (PC) may NOT be appointed by a person who will carry out the building work, unless that person owns the subject land. The PC must be appointed by the person who has the benefit of the Development Consent (ordinarily the owner).

PART D – THE CERTIFIER

Name and Registration No: Goulburn Mulwaree Council – LGA 051

Address: 184 Bourke Street Goulburn NSW 2580

Contact Phone Number: (02) 4823 4444

Email: council@goulburn.nsw.gov.au

Please Note: Council employs Certifiers who are registered by NSW Fair Trading under the *Building and Development Certifiers Act 2018*. The Applicant is advised that the certification work and any inspections required to be carried out under the *Environmental Planning & Assessment Act 1979* and *Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021* may be carried out by any one of the appropriately registered Council employees listed on the [NSW Fair Trading Register of Certifiers](#).

PART E: STATUTORY OBLIGATIONS

This contract is accompanied by an information sheet prepared by NSW Fair Trading pursuant to Clause 31 of the *Building and Development Certifiers Regulation 2020*, addressing the following:

- The role and statutory obligations of the Registered Certifier; and
- The role of the person for whom the certification work is carried out; and
- The types of information that can be found on the register of Registrations and Approvals under the *Building and Development Certifiers Act 2018*.

PART F: APPLICANT AND OWNERS DECLARATION AND SIGNATURE

The applicant and all property owners must consent to and sign this application. Please cross (X) each statement to acknowledge.

I/We acknowledge that the fees payable are calculated in accordance with Council's adopted Fees and Charges and are to be paid as follows:	☒
- Determination of Development Certificates = before or on lodgement of the applicable application; and - Appointment of Principal Certifier = before Council acceptance of the appointment and prior to any works commencing; and - Unforeseen contingencies = Where Council carries out work as a result of unforeseen contingencies, Council will calculate the fee based on its Revenue Policy and provide an invoice within 21 days after the completion of that work. Payment to be made in accordance with the terms of the invoice.	☒
I/We agree to provide all documents that the Council may reasonably request to perform the function as the PC and/or Certifier.	☒
I/We consent to Council Officers entering the subject property at any reasonable time, for the purpose of carrying out any mandatory critical stage inspection as required by the Act, or a regulatory inspection where required.	☒
I /We acknowledge that I/we must comply with all relevant DA or CDC conditions and/or pre-conditions of consent nominated in the approval documentation.	☒
I/We agree to notify Council of the appointment of the principal contractor or owner builder.	☒
I/We agree to notify the principal contractor of any inspections of building work, as required by the PC.	☒
I/We acknowledge that I/we have received and understand the description of services and responsibilities as detailed within the Contract.	☒
I/we have freely chosen to engage Goulburn Mulwaree Council as the PC and/or Certifier.	☒
I/we have read the contract and any document accompanying the contract and understand the roles and responsibilities of the client and the registered certifier.	☒
I/We agree to receive approval documentation and correspondence via electronic communication.	☒
By signing this agreement electronically, I/we agree to be legally bound by the terms of this agreement.	☒
I/We declare that all the information provided is true and correct. I/We also understand that, if incomplete, the application may be delayed or rejected, and further information may be requested.	☒

Owner	Applicant	Name	Position (if company)	Signature
☒	☒	IMT AUSTRALIA PT (ANDREW O'SHEA)	DIRECTOR/ SECRETARY	
☐	☐			
☐	☐			
☐	☐			

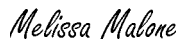
Please note:

- If signing on the owner's behalf, please state your legal authority, and provide documentary evidence (e.g. copy of Power of Attorney, trust deed, etc.)
- If signing on behalf of a body corporate or company, the application should be signed by two authorised representatives of the Company, and the names and positions of authority in the Company must be stated on the form. If you are the Sole Director, or are signing under Common Seal, this should be stated, and one signature will suffice. Alternatively, authority may be provided on Company letterhead.

PART G: DATE OF CONTRACT

This appointment of Principal Certifier and Contract for carrying out certification work is made on the date it is signed and endorsed by Councils authorised officer.

PART H: COUNCIL ENDORSEMENT – Council to complete

Name:	Melissa Malone		
Position:	Building Surveyor		
Signed: (on behalf of Goulburn Mulwaree Council)		Date:	2 May 2025

ATTACHMENT A – TERMS AND CONDITIONS

1. INTRODUCTION

This is a contract between Goulburn Mulwaree Council (GMC) ("Council") and the person/s (hereinafter referred to as "the client") whose name/s and signature/s appear on the contract. The contract relates to an application from the client to engage GMC to provide certification services; including the appointment of Council as the Certifying Authority and Principal Certifier (PC) in order to assess and determine the application/s the subject of this contract and carry out nominated critical stage inspections of the building works and determination of application/s for Occupation Certificates. This Attachment sets out the terms, conditions and responsibilities of the Client and the Council.

2. SERVICE PROVIDED AND RESPONSIBILITIES OF COUNCIL

Under the EP&A Act a certifier including the principal certifier (PC) has a range of functions in relation to building work:

- Issuing construction certificates or complying development certificates for building work,
- Carrying out inspections of building work,
- Issuing occupation certificates,
- Any other functions conferred or imposed on the certifier under the EP&A or any other Act.

4. OBLIGATIONS OF THE CERTIFIER

The Certifier will:

- Ascertain, before any building work commences, that a construction certificate or complying development certificate has been issued for the work;
- Ascertain, before any residential building work commences, that the principal contractor for the work is the holder of the appropriate licence and is covered by the appropriate insurance, in each case if required by the Home Building Act 1989, unless the work is to be carried out by an owner-builder;
- Where the work is being carried out by an owner-builder, ascertain that the owner-builder is the holder of an owner-builder permit required under the Home Building Act 1989 before an owner builder commences on the site of any residential building work;
- Confirm at what stages of construction inspections are to be carried-out. The Notice of Inspections will be attached to the CC or CDC.
- Carry out critical stage inspections of the building work as prescribed by the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021* or as required by the Certifier before issuing an occupation certificate for the building work;
- Make a record as required by the EP&A Certifier Regulation of all inspections and provide a copy to the client or their representative. Note: Inspections will be carried out Monday to Friday between the hours of 9:30AM – 12:00PM and 1:30PM – 4:00PM (excluding Public Holidays, weekends, Union Picnic Day and Council shutdown period/s).
- Advise the client of the details of the work the subject of an unsatisfactory inspection and the need (if any) to carry out a reinspection.
- Notify the Client if any additional fees for inspection are required as a result of reinspection for incomplete or defective works. Reinspection fees will be levied and payable for all reinspections required as a result of work not being ready for the booked inspection or as a result of defective works.
- Council will determine whether any inspection (other than the last critical stage inspection) has been not carried out, and whether the work that would have been inspected was satisfactory. Council will make a record of any such missed inspection and provide a copy to the Client and owner. Council will also notify the principal contractor of the missed inspection.
- Assess applications and issue determinations for Construction Certificate, Complying Development Certificates and Occupation Certificates in the prescribed form.
- Ensure that any preconditions required by a development consent or complying development certificate are met for the work before the issue of an occupation certificate.
- Without limiting the compliance actions that Council may take, Council may:
 - attend the site to inspect any issue of concern relating to the development,
 - cause correspondence to be issued to any person,
 - refer any matter of concern to such persons or authorities as Council considers appropriate, including the consent authority, NSW Fair Trading or an environmental protection agency.
- Issue Directions and Orders under the EP&A Act.

5. FEES AND CHARGES

5.1 Fees payable to Council for the undertaking of all work involved in assessing, determining and finalising the application must be paid at the time of lodgement and will be as per Councils Adopted Fees & Charges for the current financial year. These fees are exclusively for the determination of a development certificate and the carrying out of critical stage building inspections. Other fees may be payable in accordance with Council's adopted Fees & Charges.

5.2 Please note all fees are reviewed annually and may change as of 1 July each year. The fee payable will be based on those applicable on the day on which the Contract is executed.

5.3 Any additional or re-inspections required as a result of unfinished or non-compliant work will incur additional charges based on the rates of inspection applicable for the current financial year.

5.4 Any re-inspections for building works must be paid for at the time of booking the inspection.

6. RESPONSIBILITIES OF THE CLIENT

The Client, in appointing Goulburn Mulwaree Council as the Certifier agrees to:

- Provide all relevant drawings, plans, documents and any other related information or documents at the request of the Certifier to fulfil its obligations under this agreement.
- Ensure that all documents and information provided by the Client are complete, current and accurate. In that regard, the Client acknowledges that the Certifier is entitled to rely on information and documents provided by the Client. The Client indemnifies the Certifier from any costs, expenses, losses, damages, claims, liability, demands, suits and proceedings suffered or incurred by, or made against, the Certifier in respect of the Certifiers reliance on the documents supplied by or on behalf of the Client or in relation to any third party placing any reliance on the performance of the Certifiers services under this Agreement.
- Ensure that a Construction Certificate or Complying Development Certificate has been issued prior to the commencement of any works.
- Provide Council a completed Notice of Commencement not less than two days before the commencement of any building works.
- Where the Client is not carrying out the building work as owner-builder, the Client must have appointed a principal contractor for the building work who is the holder of a contractor licence (where residential building work is involved). The Client must notify the PC of the appointment of the principal contractor and also notify the principal contractor of any critical stage inspections and other inspections required to be carried out for in respect of the building work.
- Where the work is being carried out by an owner-builder, provide a copy of the builder permit required under the Home Building Act 1989 to the Certifier before the commencement of any work.
- Pay all fees for services provided by the PC or such fees and charges as required by another authority, e.g. FRNSW.
- Ensure that arrangements are made for Council to carry out inspections of the building works at various stages as indicated in Council's Notice of Inspections. The owner or principal contractor must provide Council with a minimum of 48 hours' notice (excluding weekends and public holidays) prior to each inspection. Inspections must be booked via (02) 4823 4444.
- Ensure that building work is ready for inspection by the agreed inspection date and time. Where a reinspection is required as a result of defective or incomplete works, the Client shall make payment of the appropriate reinspection fee as prescribed in Council's Adopted Fees and Charges.
- Where an inspection is required, the Client MUST ensure the relevant stamped approved plans and specifications and other required details are on-site and/or available to the Certifier. For example, where a timber floor, roof or wall frame inspection is required, the relevant information must be provided such as roof truss specifications, tie-down and joint schedules, roof and wall bracing plans and specifications, timber sizes and the like.
- Ensure that the site is accessible for the PC to carry out its contractual obligations.
- Use suitably qualified and experienced contractors for all aspects of the Building Work.
- Comply with any Written Direction Notices that the PC issues.
- Act in good faith, in accordance with the Act, and in a cooperative manner

6.15 Before booking a final inspection and/or Occupation Certificate the client shall provide to Council the certificates listed in the Schedule of PC Requirements or otherwise requested by the certifier.

6.16 Ensure that the erection of the building and/or works are in accordance with the development consent and construction certificate. Any modifications to approved works shall have the prior approval of the consent authority and the certifier.

6.17 Provide the PC specialist reports, plans, specifications, compliance certificates and certification of materials, processes or works as requested. Additional documents we may request (where necessary) may include but are not limited to engineer's plans, engineering reports, engineering certification, Compliance Certificates, Fire Safety Certificates, Identification Surveys and evidence of suitability etc..

6.18 The applicant acknowledges that it is the applicant's responsibility (and that of your builder and/or subcontractors) to ensure that the applicant complies with all relevant legislation, consents, certificates and approvals relating to the subject development.

7. CONTRACT TERMINATION

7.1 This contract will automatically terminate upon the expiration of five (5) years from the date of this contract unless Council and the applicant have entered into a written contract to vary the duration of the contract and the applicant has paid all relevant fees; or

7.2 As soon as the PC has issued a Final or Whole Occupation Certificate for all building and development work the subject of this contract, the contract will automatically terminate; or

7.3 If the Client breaches the contract in any respect; or

7.4 Where Council is unable to issue the Construction Certificate or Complying Development Certificate within six (6) months from the date of execution of this contract.

8. DICTIONARY

Registered certifier means a person who is registered under the Building and Development Certifiers Act 2018 and whose registration is in force.

Applicable environmental planning instrument means the State Environmental Planning Policy or the Local Environmental Plan nominated by the Client as the instrument against which an application for a complying development certificate is to be assessed.

BCA means the Building Code of Australia.

BDAC Act means the Building and Development Certifiers Act 2018.

Certification work means:

- the exercise of a function of a certifier (including a principal certifier) specified in section 6.5 of the Environmental Planning and Assessment Act 1979,
- the determination of an application for a strata certificate within the meaning of the Strata Schemes Development Act 2015,
- the inspection of swimming pools under Division 5 of Part 2 of the Swimming Pools Act 1992 and the issuing of certificates of compliance and notices under that Division,
- the exercise of any other function of a registered certifier under the certification legislation or under another Act or law,
- any other work of a kind prescribed by the regulations, but does not include work of a kind that is excluded from this definition by the regulations.

Contractor licence means a licence issued under the Home Building Act 1989.

EP&A Act means the Environmental Planning and Assessment Act 1979.

EP&A Regulation means the Environmental Planning and Assessment Regulation 2021.

EP&A Certifier Regulation means the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021.

Principal Certifier (PC) for building work means the certifier appointed as the principal certifier for the building work under section 6.6(1) of the EP&A Act.

Note: Council Certifiers, as the PC cannot be involved in the design of the building/development works. When Council has been appointed as the PC, a change of PC can only be undertaken upon agreement of Council or as determined by NSW Fair Trading.

Occupation Certificate (OC) means an Occupation Certificate within the meaning of the EP&A Act.

Owner-builder Permit has the meaning given to it by the Home Building Act 1989.

Residential building work has the meaning given to it by the Home Building Act 1989.

<

Information about registered certifiers – building surveyors and building inspectors

Important: this is a summary document only.

Before signing any contract for certification work, make sure you understand your obligations and what you are agreeing to. The Fair Trading website has more information about certifiers.

Under section 31(2) of the *Building and Development Certifiers Act 2018* and clause 31 of the *Building and Development Certifiers Regulation 2020*, a contract to carry out certification work must be accompanied by an applicable document made available on the website of the Department of Customer Service (which includes NSW Fair Trading)¹. This is the applicable document for certification work involving a certifier registered in the classes of **building surveyor** or **building inspector**, working in either the private sector or for a local council.

This document summarises the statutory obligations of the registered certifier who will assess your development and your obligations as the applicant for the development. It also sets out the types of information that can be found on Fair Trading's online register of registrations and approvals.

Obligations of registered certifiers

The general obligations of registered certifiers include compliance with their conditions of registration, to hold professional indemnity insurance, comply with a code of conduct and avoid conflicts of interest.

Who does a registered certifier work for?

A registered certifier is a public official and independent regulator, registered by the Commissioner for Fair Trading.

Certifiers must carry out work in a manner that is impartial and in the public interest, even if this is not in the interests of the applicant, developer, or builder. Receiving a certificate is not guaranteed – the applicant is paying for the certifier to assess the application and determine *whether or not* a certificate can be issued.

It is a serious offence to attempt to bribe or influence a certifier, attracting a maximum penalty of \$110,000 and/or two years imprisonment.

¹ Visit www.fairtrading.nsw.gov.au and search 'certification contracts'.

Obligations of the applicant

An applicant is the person seeking a certificate, or engaging a certifier for other certification work, under the *Environmental Planning and Assessment Act 1979*.

As an applicant, you have the following obligations:

- Appoint, and enter into a contract with, your chosen certifier.
- Pay the certifier's fees before any certification work² is carried out.
- Communicate with your builder to ensure the certifier is notified when work reaches each stage. If a mandatory inspection is missed, the certifier may have to refuse to issue an occupation certificate.
- Follow any written direction issued by the certifier and provide any requested additional information to assess an application.
- Meet the conditions of any development consent and ensure the development is carried out in accordance with the approved plans.

What does a registered building surveyor do?

Registered **building surveyors** issue certificates under the *Environmental Planning and Assessment Act 1979* (construction certificates, complying development certificates and occupation certificates), act as the **principal certifier** for development, and inspect building work.

The principal certifier will attend the site to carry out mandatory inspections at certain stages. When construction is complete, the certifier may issue an occupation certificate, which signifies that the work:

- is 'suitable for occupation' – this does not necessarily mean all building work is complete
- is consistent with the approved plans and specifications
- meets all applicable conditions of the approval.

The certifier does not manage or supervise builders or tradespeople or certify that the builder has met all requirements of the applicant's contract with the builder.

What does a registered building inspector do?

Registered **building inspectors** carry out inspections of building work³ with the approval and agreement of the principal certifier. Building inspectors are not authorised to issue certificates or be appointed as the principal certifier.

² Upfront fee payment is required for any work to determine an application for a development certificate or carry out a function of a principal certifier.

³ Building inspectors may inspect class 1 and 10 buildings under the Building Code of Australia; that is, houses, duplexes and the like; garages and sheds; and structures such as swimming pools, retaining walls and fences.

Principal certifier enforcement powers

If the principal certifier becomes aware of a non-compliance with the development approval, the certifier must, by law, issue a direction to you and/or the builder, requiring the non-compliance to be addressed. If it is not, the certifier must notify the council which may take further action.

The certifier is also required to respond appropriately if a complaint is made about the development.

Finding more information on certifiers

Details of the class of registration each certifier holds, their period of registration, professional indemnity insurance and disciplinary history can be found at www.fairtrading.nsw.gov.au:

- [Details of registered certifiers](#) (or search 'appointing a certifier' from the homepage)
- [Disciplinary actions against certifiers](#) (or search 'certifier disciplinary register' from the homepage).

Questions?

The Fair Trading website www.fairtrading.nsw.gov.au has information about certifiers, enforcement powers, how to replace a certifier and resolving concerns about a certifier:

- Search '[what certifiers do](#)' for information about a certifier's role and responsibilities.
- Search '[concerns with development](#)' for information about enforcement powers of certifiers, councils and Fair Trading, and how to resolve concerns about a certifier.

The NSW Planning Portal at www.planningportal.nsw.gov.au provides information on the NSW planning and development certification system.

Note, although Fair Trading regulates certifiers, it does not mediate in contract disputes and does not regulate the actions of councils. Visit the Fair Trading website for more information.

PROPOSED NEW SHED AT LOT 83 IN DP 750045
NORWOOD ROAD, MIDDLE ARM, NSW, 2580

DWG #	REV #	TITLE OF DRAWING
CC-01	A	TITLE
CC-02	A	SURVEY
CC-03	A	COMPLIANCE NOTES
CC-04	A	OVERALL SITE PLAN
CC-05	A	DETAILED SITE PLAN
CC-06	A	GROUND FLOOR PLAN
CC-07	A	LOFT FLOOR PLAN
CC-08	A	ROOF PLAN
CC-09	A	ELEVATIONS 1
CC-10	A	ELEVATIONS 2
CC-11	A	SECTION A
CC-12	A	WINDOW & DOOR SCHEDULES
CC-13	A	SLAB SETOUT PLAN
CC-14	A	EROSION CONTROL NOTES & PLAN
CC-15	A	CUT AND FILL PLAN
CC-16	A	3D PERSPECTIVES

GOULBURN MULWAREE COUNCIL

CC/0137/2425

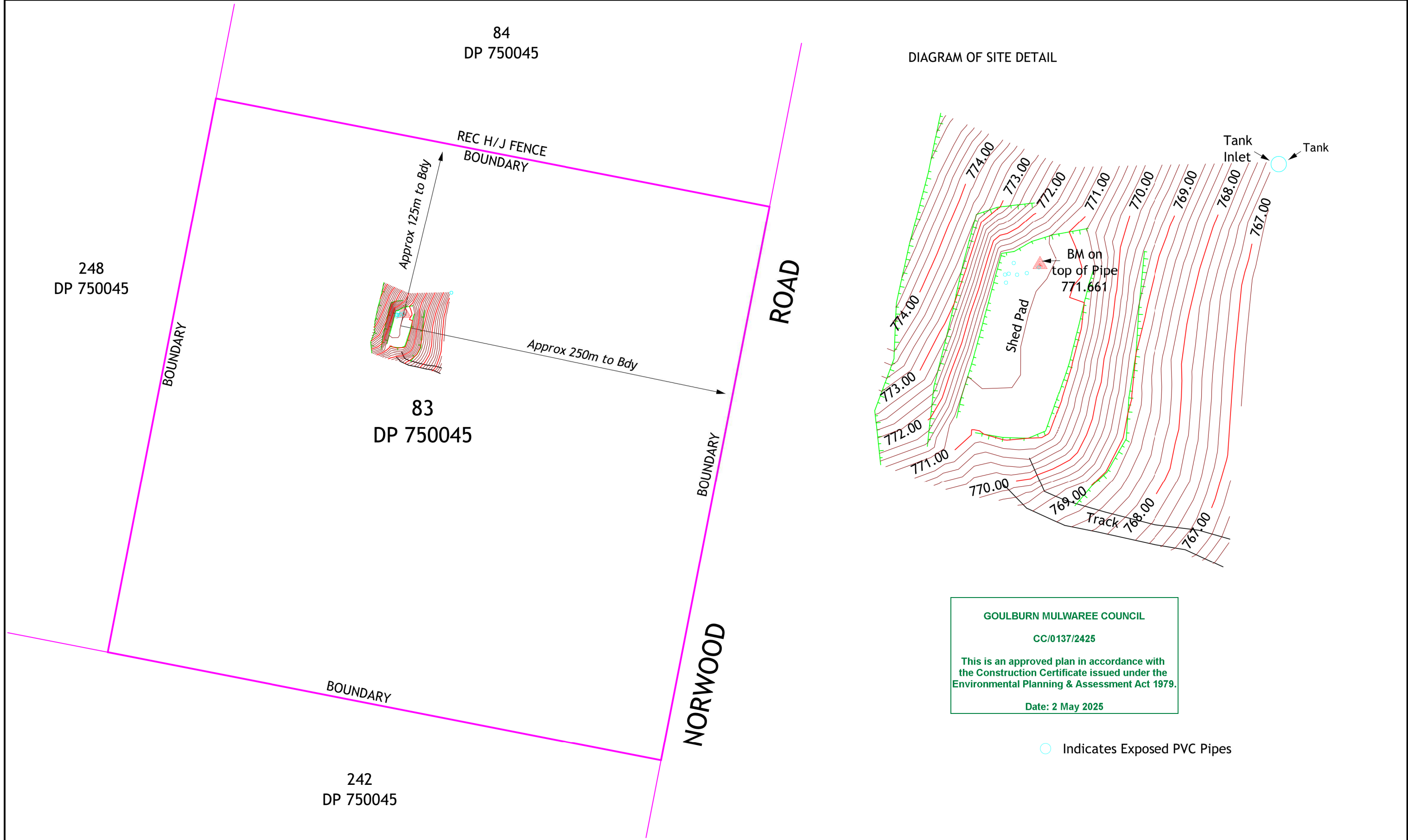
This is an approved plan in accordance with
the Construction Certificate issued under the
Environmental Planning & Assessment Act 1979.

Date: 2 May 2025

ISSUED FOR CONSTRUCTION CERTIFICATE

ISSUED FOR
CONSTRUCTION CERTIFICATE
REFER TO COMPLIANCE NOTES

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030 LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580	DRAWING TITLE	TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY	
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	O'SHEA		LOT 83 DP750045	AT SHEET SIZE	JOB NUMBER	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect. C		STREET ADDRESS	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	



SCALE - 1:2500
AZIMUTH - MGA
CONTOUR INTERVAL - 0.2m
DATUM - AHD
DATE - 2/1/2023
REF - 24907

PLAN
SHOWING DETAIL SURVEY AND CONTOURS
LOT 83 DP 750045
NORWOOD ROAD, KINGSDALE



GOULBURN OFFICE
3/31 Clinton Street
PO Box 142
GOULBURN NSW 2580
T: 02 4822 1366
E: goulburn@premise.com.au

BCA (NCC) & AUSTRALIAN STANDARDS COMPLIANCE NOTES			BCA (NCC) & AUSTRALIAN STANDARDS COMPLIANCE NOTES			NOTES:			NOTES:										
BUILDER TO SHOW FULL COMPLIANCE WITH ALL CURRENT REQUIRED CODES, STANDARDS & PARTS OF THE BCA (NCC), INCLUDING BUT NOT LIMITED TO THE FOLLOWING:			AS 4773 : 2015 MASONRY IN SMALL BUILDINGS - DESIGN			ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.			A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.										
BCA (NCC) SECTION 2.1 - STRUCTURE BCA (NCC) SECTION 2.2 - DAMP & WEATHERPROOFING BCA (NCC) SECTION 2.3 - FIRE SAFETY BCA (NCC) SECTION 2.4 - HEALTH & AMENITY BCA (NCC) SECTION 2.5 - SAFE MOVEMENT & ACCESS BCA (NCC) SECTION 2.6 - ENERGY EFFICIENCY BCA (NCC) SECTION 3.0 - ACCEPTABLE CONSTRUCTION			AS 5104 : 2017 GENERAL PRINCIPLES ON RELIABILITY FOR STRUCTURES			IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.			PROVIDE LIFT OFF HINGES TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARDS TO SATISFY THE REQUIREMENTS OF NCC 3.8.3.3 OR PROVIDE ALTERNATIVE CONFIGURATION TO SATISFY THE LOCAL AUTHORITIES.										
			BCA (NCC) VOL. 2 PART 3.12.3 - BUILDING SEALING			THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.			SELECTED CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. INSTALL OVER ENVIROSEAL RW. LAP & TAPE ALL JOINTS & FRAME PENETRATIONS TO ENSURE AN AIRTIGHT BUILDING SEAL.										
			BCA (NCC) VOL. 2 PART 3.12.5 - SERVICES			ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.			ALL FIRST FLOOR WINDOWS TO HAVE A CHILD RESTRICTIVE OPENING DEVICE TO PREVENT THEM OPENING MORE THAN 120mm TO MEET D2.24 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.										
AS/NZS 1170.2 : 2011 STRUCTURAL DESIGN ACTIONS - WIND ACTIONS			HB 28 : 1997 THE DESIGN OF RESIDENTIAL SLABS & FOOTINGS			ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.			ALL PAINT FINISHES (EXTERNAL AND INTERNAL) TO BE LEVEL 4 PAINT FINISH (MIN. 4 COATS), SEAL COAT , UNDERCOAT , 2 x TOP COATS.										
AS 1288 : 2006 GLASS IN BUILDINGS BCA (NCC) CLAUSE B1.4 & PART 3.1.4			HB 46 : 2010 FIRE SAFETY IN THE HOME			IF ALTERNATIVE MATERIAL OR PRODUCT IS PROPOSED TO THAT SPECIFIED, THE BUILDER <u>MUST</u> PROVIDE EVIDENCE SHOWING COMPLIANCE WITH THE BCA AND ALL RELEVANT STANDARDS RELATING TO THE APPLICATION OF THE PROPOSED MATERIAL. FURTHER THE ARCHITECT ACCEPTS NO LIABILITY OR INDEMNITY FOR THE SUBSTITUTION OF A MATERIAL CONTRARY TO THAT SPECIFIED BY THE ARCHITECT WITHOUT THE PROVISION OF WRITTEN DOCUMENTATION SHOWING COMPLIANCE WITH THE BCA AND AUSTRALIAN STANDARDS AND THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.													
AS 1562 : 2018 DESIGN & INSTALLATION OF SHEET ROOFING & WALL CLADDING			HB 111 : 1998 THE DOMESTIC KITCHEN HANDBOOK			THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.													
AS 1684.2 : 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREA - N1/N2 SUPPLEMENT 1: TIMBER FRAMING SPAN TABLES - WIND CLASSIFICATION N1/N2 - SEASONED SOFTWOOD - STRESS GRADE F5 (SUPPLEMENT TO AS 1684.2 : 2010).			SCHEDULE OF FIRE SAFETY MEASURES<table><tr><td>EMERGENCY LIGHTING</td><td>AS 2293.1, E4.2 & E4.4 OF NCC</td></tr><tr><td>PORTABLE FIRE EXTINGUISHERS</td><td>AS 2444 & E1.6 OF NCC</td></tr><tr><td>FIRE BLANKETS</td><td>AS 2444 & E1.6 OF NCC</td></tr><tr><td>EXIT DOORS</td><td>D2.19, D2.20 & D2.21 OF NCC</td></tr></table>NOTE : EMERGENCY DOORS TO REMAIN CLEAR AT ALL TIMES.			EMERGENCY LIGHTING	AS 2293.1, E4.2 & E4.4 OF NCC	PORTABLE FIRE EXTINGUISHERS	AS 2444 & E1.6 OF NCC	FIRE BLANKETS	AS 2444 & E1.6 OF NCC	EXIT DOORS	D2.19, D2.20 & D2.21 OF NCC						
EMERGENCY LIGHTING	AS 2293.1, E4.2 & E4.4 OF NCC																		
PORTABLE FIRE EXTINGUISHERS	AS 2444 & E1.6 OF NCC																		
FIRE BLANKETS	AS 2444 & E1.6 OF NCC																		
EXIT DOORS	D2.19, D2.20 & D2.21 OF NCC																		
			NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.																
			CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.																
			ASBESTOS REMOVAL NOTES (if found):																
			- IF & WHEN ASBESTOS IS FOUND, WORK IS TO STOP IMMEDIATELY & A LICENSED ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE THE ASBESTOS.			COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.													
			- THE ASSESSMENT, REMOVAL & DISPOSAL OF ASBESTOS TO MEET ALL AUSTRALIAN STANDARDS, NCC (BCA) REQUIREMENTS & "HOW TO SAFELY REMOVE ASBESTOS - CODE OF PRACTICE" APRIL 2016 BY SAFE WORK AUSTRALIA. APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE "WORK HEALTH & SAFETY ACT" (THE WHS ACT) & THE "WORK HEALTH & SAFETY REGULATIONS" (THE WHS REGULATIONS).			TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.													
			- THE REMOVAL OF ASBESTOS IS TO BE ACCESSED & CARRIED OUT BY A LICENSED ASBESTOS REMOVALIST WHO IS APPROPRIATELY LICENSED TO CARRY OUT THE SCOPE OF WORKS.			ALL WORK TO BE CARRIED OUT BY COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.													
			- THE LICENSED ASBESTOS REMOVALIST MUST PREPARE AN ASBESTOS REMOVAL CONTROL PLAN FOR ANY LICENSED ASBESTOS REMOVAL WORK THEY ARE COMMISSIONED TO CARRY OUT. THE ASBESTOS REMOVAL CONTROL PLAN TO BE PREPARED PRIOR TO COMMENCEMENT OF WORKS.			PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.													
			- DURING THE REMOVAL & DISPOSAL OF THE ASBESTOS, THE LICENSED ASBESTOS REMOVALIST IS TO ENSURE DECONTAMINATION FACILITIES, WASTE CONTAINMENT & DISPOSAL METHODS MEET THE ABOVE-MENTIONED RULES & REGULATIONS.			GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.													
			NOTES:			PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.													
			ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3rd PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORKS. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS. ALL BUILDING WORKS, SIGNAGE, FITTINGS & FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS 1428.1 & BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.			INSTALL HARD WIRED SMOKE ALARMS TO													

GOULBURN MULWAREE COUNCIL
CC/0137/2425
This is an approved plan in accordance with the Construction Certificate issued under the Environmental Planning & Assessment Act 1979.
Date: 2 May 2025

248
DP
750045

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

EXISTING DRIVEWAY

MIN. 3000 LITRE SEPTIC TANK WITH BAFFLE & OUTLET FILTER, TANK TO BE PROTECTED FROM VEHICLE & STOCK DAMAGE BY A STOCK FENCE. REFER TO ON-SITE EFFLUENT DISPOSAL REPORT.

THE ABSORPTION BEDS TO BE THREE BED LENGTHS 22m LONG BY 1.2m WIDE. AN AGRICULTURAL DRAIN 300mm WIDE x 500mm DEEP TO BE CONSTRUCTED UPSLOPE OF ABSORPTION BED AREA . ABSORPTION BEDS & AG DRAIN TO BE PROTECTED FROM VEHICLE & STOCK DAMAGE BY A STOCK FENCE. REFER TO ON-SITE EFFLUENT DISPOSAL REPORT.

PROPOSED SHED LOCATION

NORWOOD ROAD

SITE BOUNDARY

SITE AREA 161874.26 m²

1 OVERALL SITE PLAN
1 : 2000 @ A3



ISSUED FOR
CONSTRUCTION CERTIFICATE
REFER TO COMPLIANCE NOTES

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	OVERALL SITE PLAN	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	As indicated	DRAWN BY	
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	O'SHEA		LOT 83 DP750045	AT SHEET SIZE	JOB NUMBER	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
			STREET ADDRESS			CC-04	A	
			LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580					

GOULBURN MULWAREE COUNCIL

CC/0137/2425

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

UPVC 90mm Ø DOWNPIPES, PAINT FINISH. OVERFLOW TO STORMWATER SYSTEM.

REINFORCED CONCRETE SLAB. REFER TO STRUCTURAL ENGINEERS DETAILS.

PROPOSED REINFORCED CONCRETE BLOCK RETAINING WALL. REFER TO ENGINEERS SPECIFICATIONS

MIN. 52,000L NON-CONBUSTIBLE WATER TANK (EITHER A SINGLE TANK OR A COMBINATION OF TANKS THAT EQUAL 52,000L) THAT IS PLUMBED TO THE WC WITHIN THE SHED AND A STATIC WATER SUPPLY FOR FIRE-FIGHTING PURPOSES. MIN. 3KW PUMP WITH 19mm HOSE CAPABLE OF REACHING THE ENTIRE PERIMETER OF THE SHED AND A 65mm STORZ OUTLET WITH A METAL GATE OR BALL VALVE. ZONE INFRONT OF WATER TANK FOR FIRE TRUCK ACCESSIBILITY AND CONNECTION POINT. WATER TANK(S) ON 100mm CONCRETE SLAB, OVERFLOW TO ONSITE STORMWATER SYSTEM.

PROPOSED SHED

EXISTING DRIVEWAY

90x90mm TIMBER POSTS

SITE AREA 161874.26 m²

1 DETAILED SITE PLAN

1 : 200 @ A3



ISSUED FOR

CONSTRUCTION CERTIFICATE

REFER TO COMPLIANCE NOTES

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DETAILED SITE PLAN	DRAWING COMMENCED	DRAWING VERIFIED BY	
REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		LOT AND DEPOSITED PLAN NO.	As indicated	02/2023	T.L.	
(DA)	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	CLIENT		LOT 83 DP750045	AT SHEET SIZE	DRAWING SCALE	DRAWN BY	
A			O'SHEA		LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580	A3 SHEET	As indicated	EB	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				JOB NUMBER	AMENDMENT ISSUE	
							0922-1515	A	

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

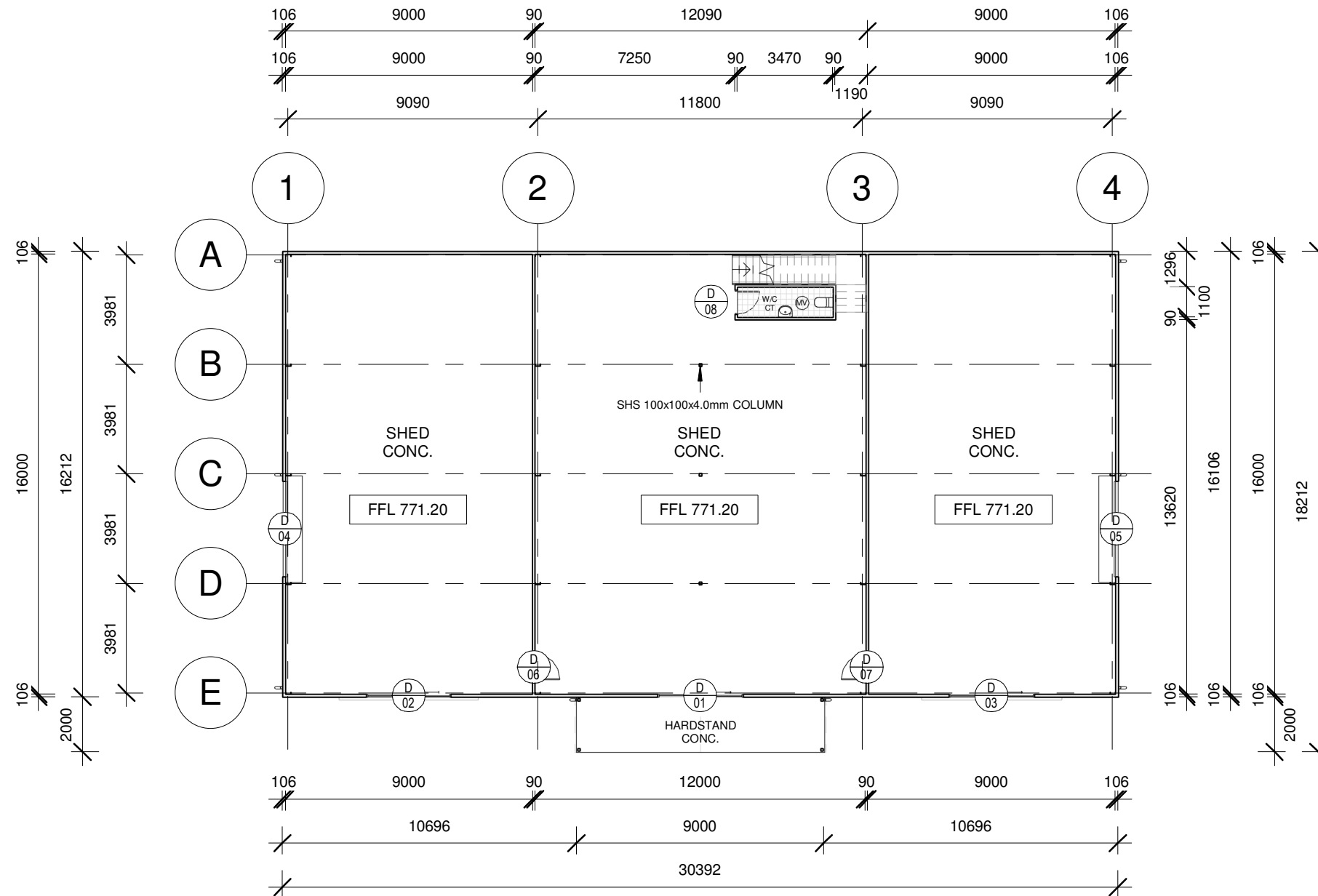
NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

GOULBURN MULWAREE COUNCIL

CC/0137/2425

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Date: 2 May 2025



GROUND FLOOR AREA	486.31 m ²
LOFT FLOOR AREA	185.27 m ²
TOTAL FLOOR AREA	671.59 m ²

1 GROUND FLOOR PLAN
1 : 200 @ A3



ISSUED FOR
CONSTRUCTION CERTIFICATE
REFER TO COMPLIANCE NOTES

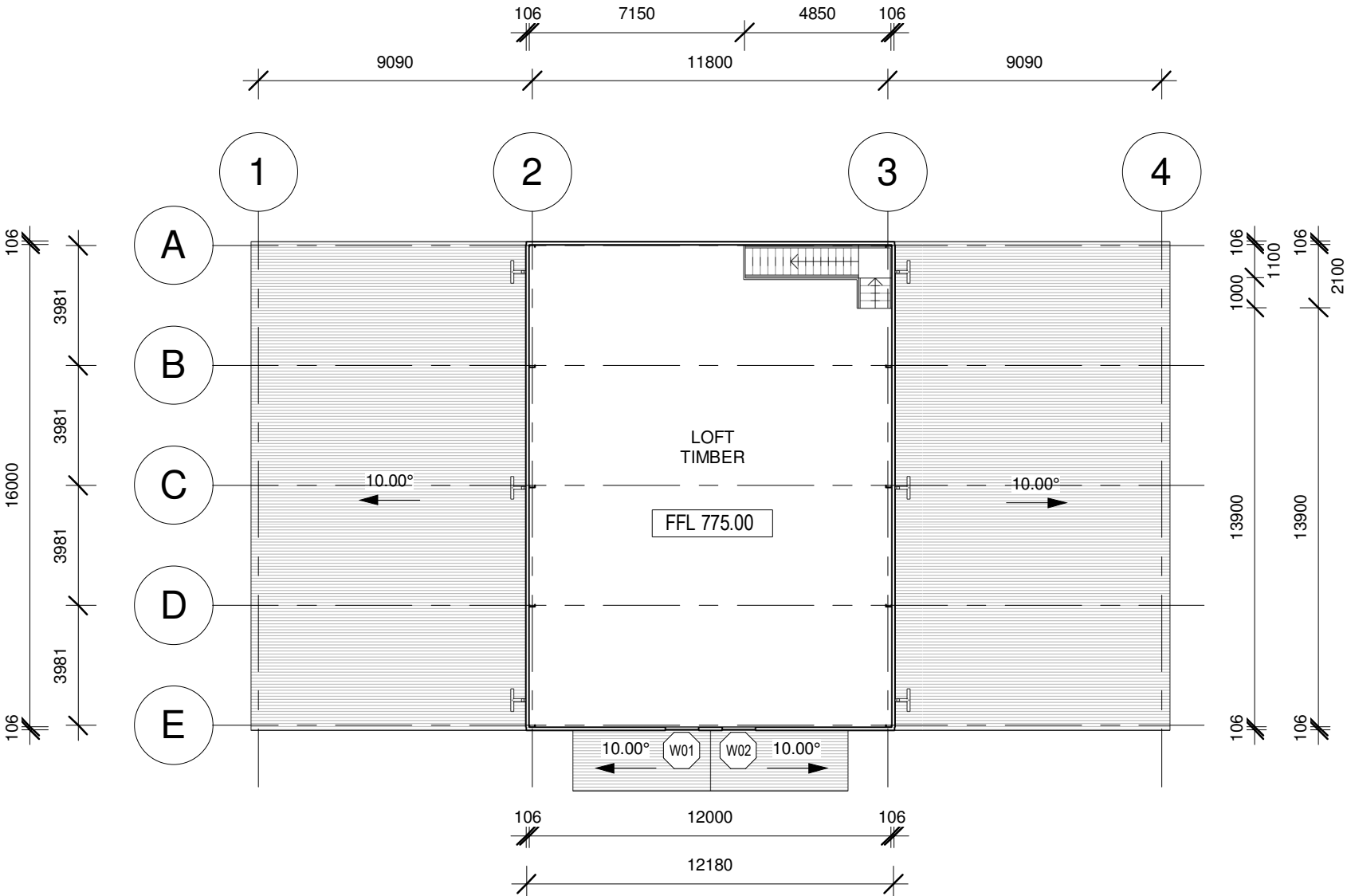
DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030 C	GROUND FLOOR PLAN		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		LOT AND DEPOSITED PLAN NO.		02/2023	T.L.
(DA)	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	CLIENT		LOT 83 DP750045		DRAWING SCALE	DRAWN BY
A			O'SHEA				As indicated	EB
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS		AT SHEET SIZE	JOB NUMBER
					LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580		A3 SHEET	0922-1515
							DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
							CC-06	A

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

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GOULBURN MULWAREE COUNCIL
CC/0137/2425
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GROUND FLOOR AREA	486.31 m ²
LOFT FLOOR AREA	185.27 m ²
TOTAL FLOOR AREA	671.59 m ²

1 LOFT FLOOR PLAN
1 : 200 @ A3



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REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		LOFT FLOOR PLAN	02/2023	T.L.
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	CLIENT		LOT AND DEPOSITED PLAN NO.	As indicated	EB
			O'SHEA		LOT 83 DP750045	AT SHEET SIZE A3 SHEET	JOB NUMBER 0922-1515
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580	DRAWING IDENTIFICATION NUMBER CC-07	AMENDMENT ISSUE A

GOULBURN MULWAREE COUNCIL

CC/0137/2425

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Date: 2 May 2025

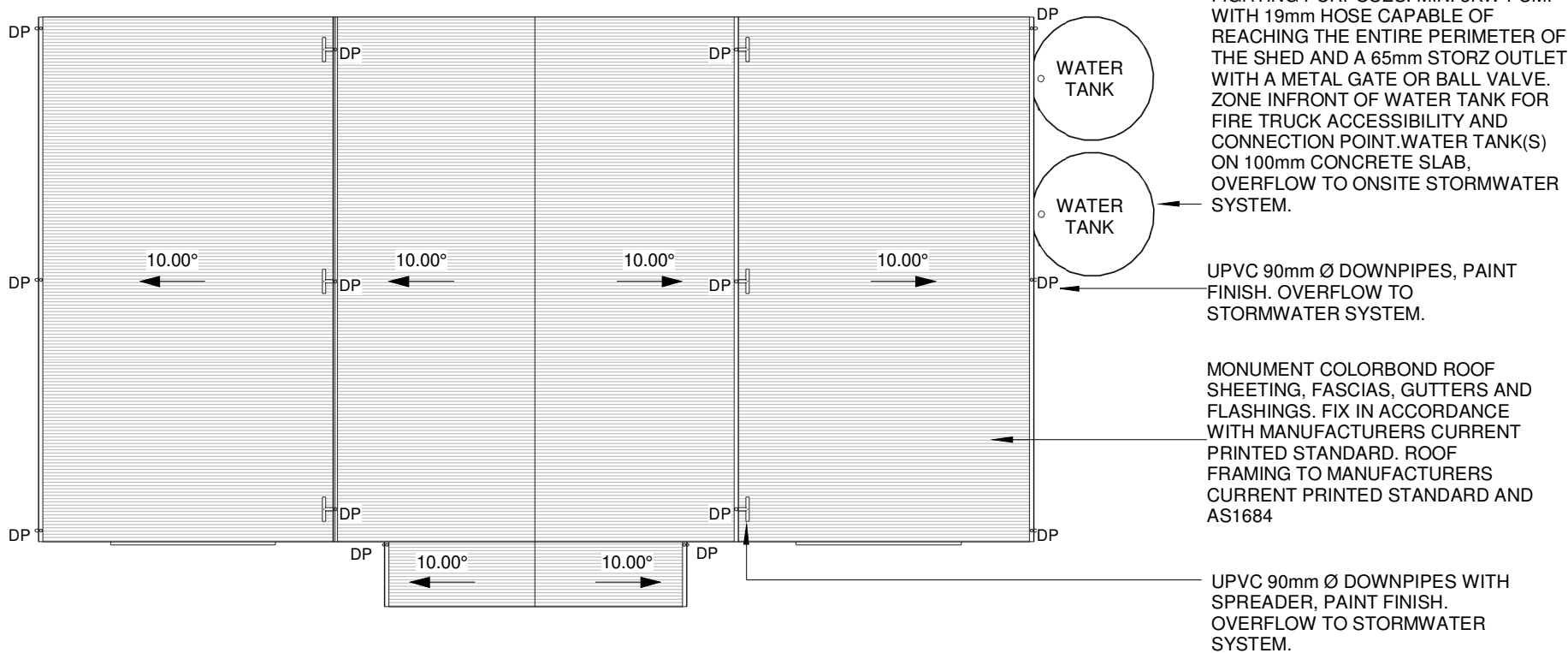
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ROOFING MATERIALS MUST BE FACTORY PRE-FINISHED WITH LOW GLARE AND REFLECTIVITY PROPERTIES TO BE COMPATIBLE WITH THE COLOURS OF NEIGHBOURING BUILDING. THE SELECTED ROOF MATERIAL MUST NOT CAUSE A GLARE NUISANCE OR EXCESSIVE REFLECTIVITY TO ADJOINING OR NEARBY PROPERTIES.

NOTE: ROOF DRAINAGE SYSTEM INSTALLED IN ACCORDANCE WITH ROOF DRAINAGE SYSTEMS - DESIGN AS/NZS 3500.3.



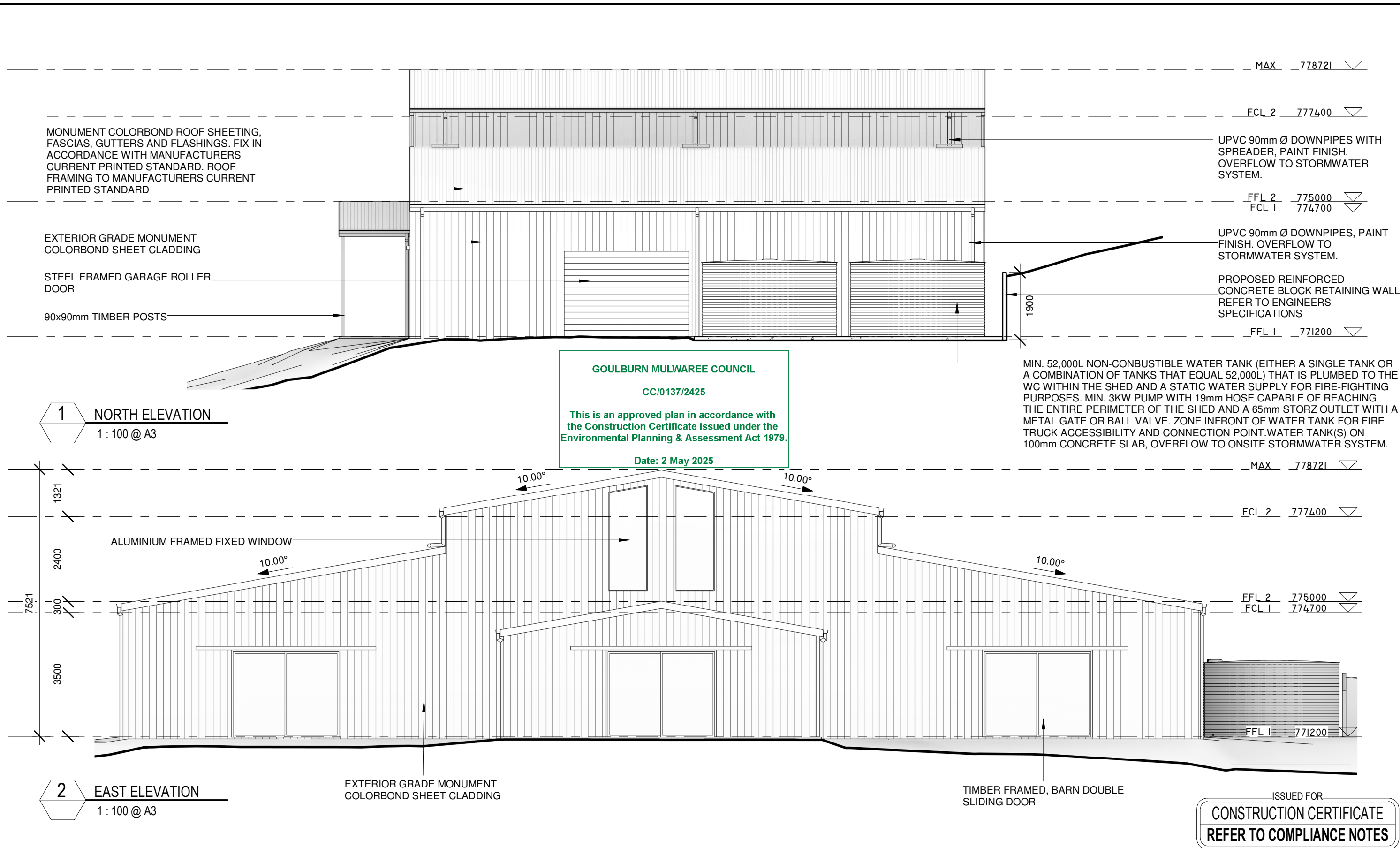
ROOF AREA 515.94 m²

1 ROOF PLAN
1 : 200 @ A3



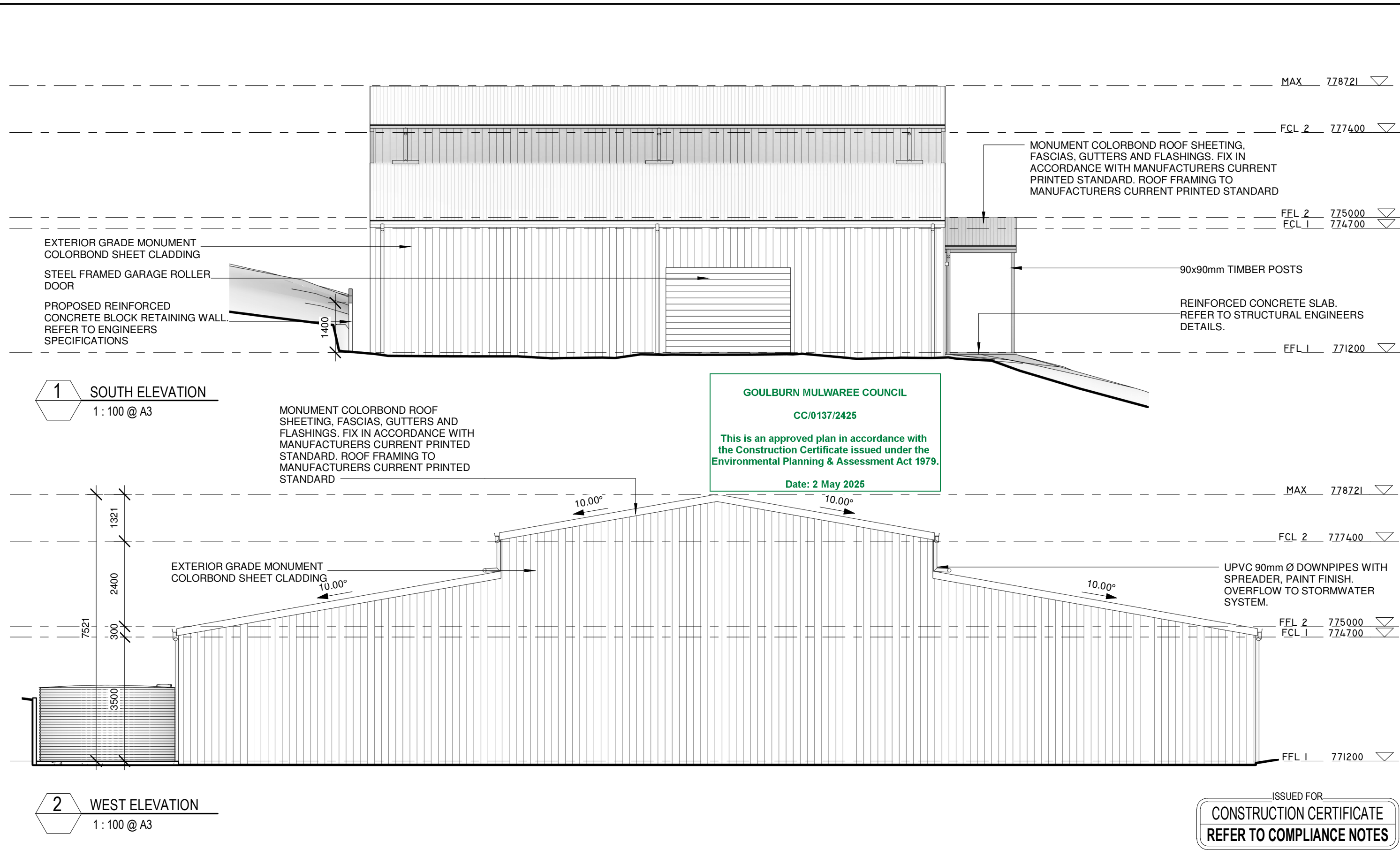
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REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		ROOF PLAN	02/2023	T.L.
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	CLIENT O'SHEA		LOT AND DEPOSITED PLAN NO. LOT 83 DP750045	DRAWING SCALE As indicated	DRAWN BY EB
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						DRAWING IDENTIFICATION NUMBER CC-08	AMENDMENT ISSUE A



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DRAWING AMENDMENTS			PROJECT TITLE	+L TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		ELEVATIONS 1	02/2023	T.L.
(DA)			CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	O'SHEA		LOT 83 DP750045	1 : 100	EB
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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						CC-09	A



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REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 83 DP750045	02/2023	T.L.
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	O'SHEA				DRAWING SCALE	DRAWN BY
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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						CC-10	A	

STEEL TOP HATS. REFER TO
STRUCTURAL ENGINEERS DETAILS.

UPVC 90mm Ø DOWNPIPES WITH
SPREADER, PAINT FINISH. OVERFLOW
TO STORMWATER SYSTEM.

EXTERIOR GRADE MONUMENT
COLORBOND SHEET CLADDING

STEEL STRUCTURE TO ENGINEERS
SPECIFICATION

90mm STEEL FRAMED
INTERAL WALL

STEEL COLUMN. REFER TO
STRUCTURAL ENGINEERS
DETAILS

MONUMENT COLORBOND ROOF SHEETING,
FASCIAS, GUTTERS AND FLASHINGS. FIX IN
ACCORDANCE WITH MANUFACTURERS
CURRENT PRINTED STANDARD. ROOF
FRAMING TO MANUFACTURERS CURRENT
PRINTED STANDARD

MAX 778721

FCL 2 777400

FCL 1 774700

FCL 1 774700

STEEL RAFTERS. REFER TO STRUCTURAL
ENGINEERS DETAILS.

STEEL PURLINS. REFER TO
STRUCTURAL ENGINEERS
DETAILS.

SHS 100x100x4.0mm COLUMN

FCL 1 771200

GOULBURN MULWAREE COUNCIL

CC/0137/2425

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1

DETAILED SECTION A

1 : 100 @ A3

GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

EXTERNAL STAIRS

NON-SLIP PRECAST STEPS TO BE 75mm THICK. ALL STEPS TO HAVE NON-SLIP GROOVES TO THE FRONT EDGE. ALL STEPS TO BE IN ONE PIECE FOR ITS FULL LENGTH. STAIR RISE AND GOING TO COMPLY WITH BCA D2.13 - 2R+G : GREATER THAN 550mm LESS THAN 700mm. ALL STAIR RISERS TO BE EQUAL AND COMPLY WITH BCA D2.13 - MIN. 115mm AND MAX. 190mm. MAXIMUM VARIANCE ACROSS THE STAIR LENGTH ±2mm. ALL STAIR GOINGS TO BE EQUAL TO AND COMPLY WITH BCA D2.13 - MIN. 240mm (PRIVATE), MIN. 250mm (PUBLIC) AND MAX. 355mm.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR.

- A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONALTIMBER FRAMING CODE).

CEILINGS

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILABOARD TO WET AREAS.

EXTERIOR WALLS - MASONRY

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

EXTERIOR WALLS - CLADDING

SELECTED EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

SELECTED PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.

ISSUED FOR

CONSTRUCTION CERTIFICATE

REFER TO COMPLIANCE NOTES

DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024

PROJECT TITLE

PROPOSED NEW SHED

CLIENT

O'SHEA

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TIM LEE ARCHITECTS
residential commercial industrial

P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580

NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE

SECTION A

LOT AND DEPOSITED PLAN NO.

LOT 83 DP750045

STREET ADDRESS

LOT 83 NORWOOD ROAD, M

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DOOR SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
01	TIMBER FRAMED, BARN DOUBLE SLIDING DOOR	2400	3000	0	2400
02	TIMBER FRAMED, BARN DOUBLE SLIDING DOOR	2400	3000	0	2400
03	TIMBER FRAMED, BARN DOUBLE SLIDING DOOR	2400	3000	0	2400
04	STEEL FRAMED, GARAGE ROLLER DOOR	2400	3500	0	2400
05	STEEL FRAMED, GARAGE ROLLER DOOR	2400	3500	0	2400
06	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	920	0	2100
07	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	920	0	2100
08	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	820	0	2100

WINDOW SCHEDULE					
WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
01	ALUMINIUM FRAMED FIXED WINDOW	2800	1100	300	3100
02	ALUMINIUM FRAMED FIXED WINDOW	2800	1100	300	3100

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248
DP
750045

83
DP
750045

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EXISTING DRIVEWAY

OUTLINE OF PROPOSED SLAB

NORWOOD ROAD

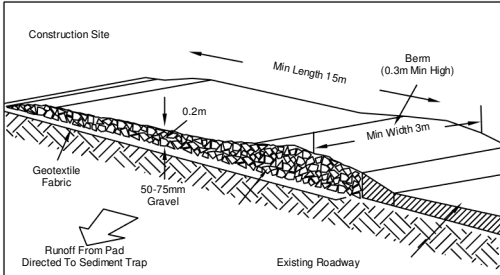
SITE BOUNDARY

1 SLAB SETOUT PLAN
1 : 2000 @ A3



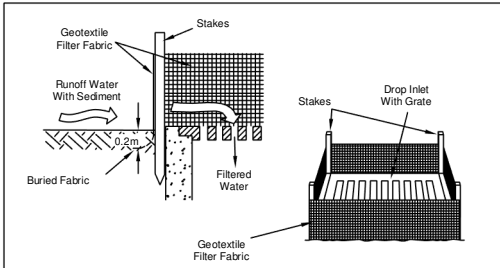
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REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		SLAB SETOUT PLAN		02/2023	T.L.	
(DA)			CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY	
A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	O'SHEA		LOT 83 DP750045		As indicated	EB	
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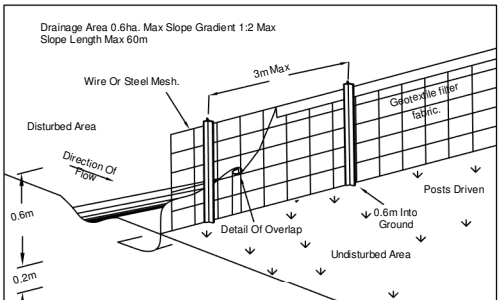
Temporary Construction Exit

DIAGRAM 1
NOT TO SCALE



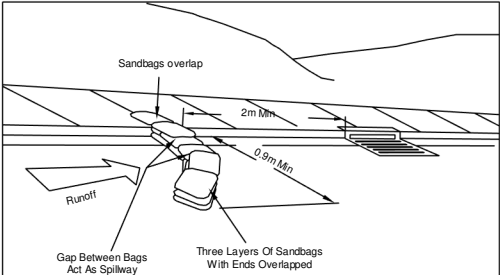
Geotextile Filter Fabric Drop
Inlet Sediment Trap

DIAGRAM 2
NOT TO SCALE



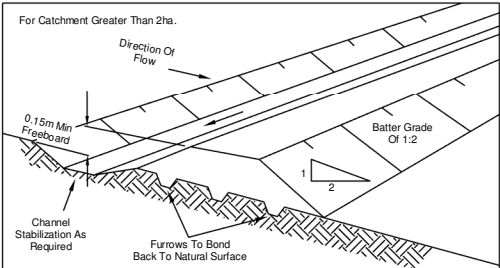
Sediment Fence

DIAGRAM 3
NOT TO SCALE



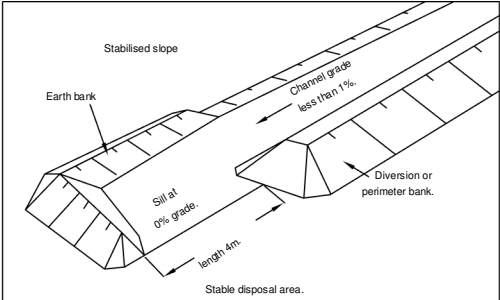
Sandbag Kerb Inlet Sediment Trap. DIAGRAM 4

NOT TO SCALE



Diversion Bank and Channel.

DIAGRAM 5
NOT TO SCALE



Level Spreader (or Sill)

DIAGRAM 6
NOT TO SCALE

GENERAL NOTES:

- ALL WORK TO COMPLY WITH THE REQUIREMENTS OF COUNCIL & DEPT OF HOUSING MANUAL "MANAGING URBAN STORMWATER - SOILS & CONSTRUCTION"
- ALL DISTURBED AREAS ON VERGES & ALLOTMENTS SHALL BE RIPPED 100mm BELOW FINISHED SURFACE LEVEL, 100mm OF APPROVED SITE OR IMPORTED TOPSOIL ADDED & TRIMMED TO FINISHED LEVEL. THEN GRASSED WITH APPROVED SEED/ MULCH WITHIN 14 DAYS AND WATERED UNTIL FULL ESTABLISHMENT OCCURS.
- ALL ADJOINING AREAS TO BE PROTECTED FROM SEDIMENT VIA SILT FENCE AS DETAILED. (IF FALL TO LAND OCCURS)
- ALL PROPOSED AND EXISTING KERB INLET SUMPS SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (GULLY PIT PROTECTION)
- ALL SURFACE INLET PITS (OFF ROAD) SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (SURFACE INLET PITS)
- ALL PAVEMENT & SUBGRADES TO BE PROTECTED FROM SCOUR/EROSION AS DETAILED. (PAVEMENT PROTECTION)
- ALL OUTLET PIPES SHALL BE FITTED WITH STAKED STRAW BALES & SILT FENCE IN A DAM PATTERN.
- ALL SWALE DRAINS (OPEN CHANNELS) TO BE TREATED AS PER PAVEMENT PROTECTION UNTIL GRASS IS ESTABLISHED.
- 300mm WIDE STRIP OF TURF TO BE LAID BEHIND KERB. 1m RETURNS AT 50m INTERVALS. TURF ALSO TO BE LAID AROUND ALL SURFACE INLET PITS.
- EXISTING GRASSED AREAS SHOWN ON SOIL AND WATER MANAGEMENT PLAN ARE TO BE MAINTAINED IN CURRENT CONDITION WHERE EVER POSSIBLE
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (ie: ALL FOOTPATHS, BATTERS, SITE REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS.) TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREA UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BATTERS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BATTERS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTILL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
- THE CONTRACTOR'S RESPONSIBILITY IS TO ENSURE ALL NECESSARY MEASURES ARE TAKEN TO PROTECT ALL DISTURBED AREAS AS PER NOTE 1. ALL ADDITIONAL COSTS IS TO BE REFLECTED IN TENDER PRICE EVEN IF SUCH MEASURES ARE NOT INDICATED ON SEDIMENT AND EROSION CONTROL PLANS.

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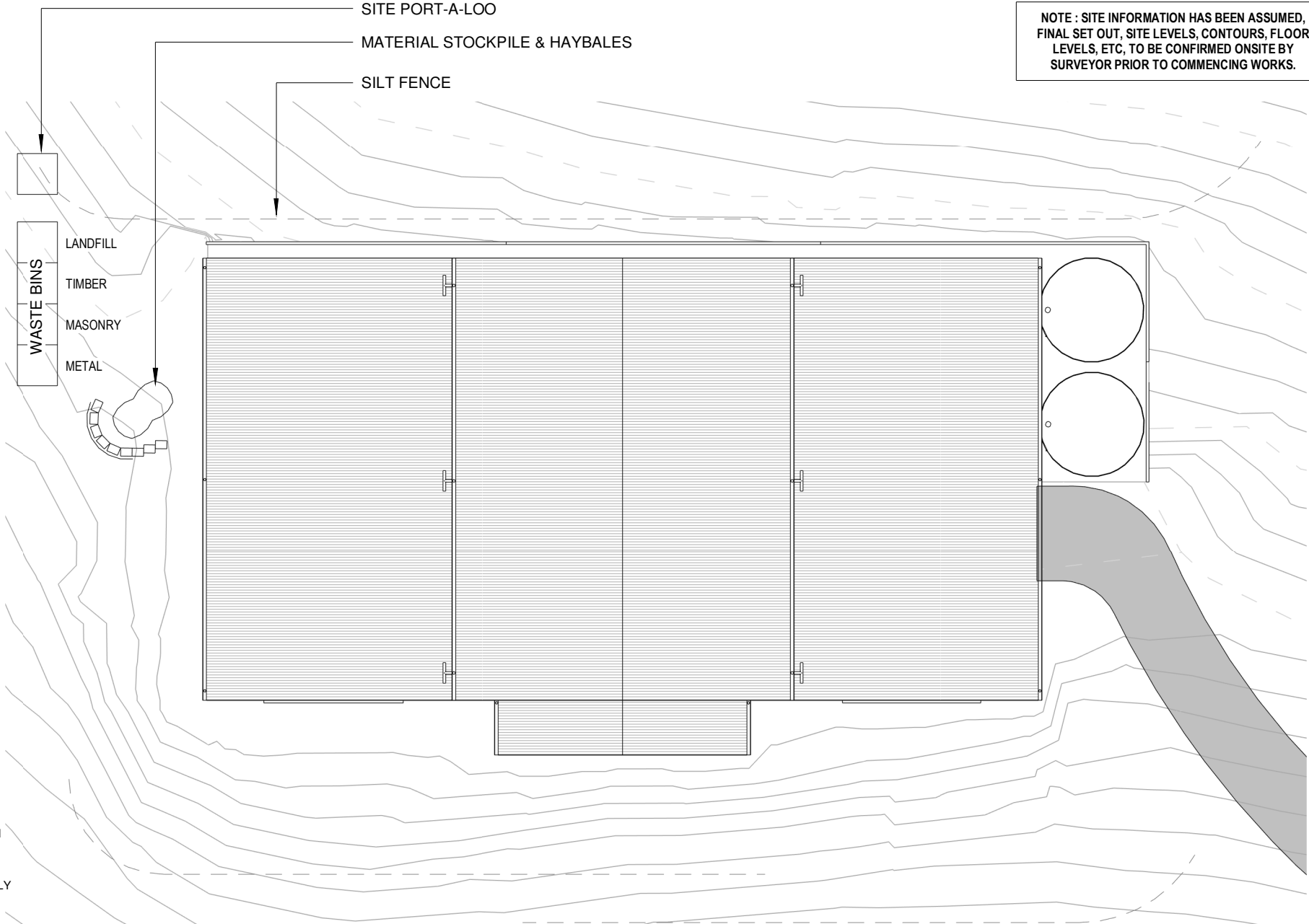
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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.



2

EROSION CONTROL PLAN

1 : 200 @ A3

ISSUED FOR

CONSTRUCTION CERTIFICATE

REFER TO COMPLIANCE NOTES

DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024

PROJECT TITLE

PROPOSED NEW SHED

CLIENT

O'SHEA

Figured dimensions take precedence. Do not scale drawings.
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TIM LEE ARCHITECTS
residential commercial industrial

P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580

NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE

EROSION CONTROL NOTES & PLAN

LOT AND DEPOSITED PLAN NO.

LOT 83 DP750045

STREET ADDRESS

LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580

DRAWING COMMENCED

02/2023

DRAWING SCALE

As indicated

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

CC-14

DRAWING VERIFIED BY

T.L.

DRAWN BY

EB

JOB NUMBER

0922-1515

AMENDMENT ISSUE

A

GOULBURN MULWAREE COUNCIL

CC/0137/2425

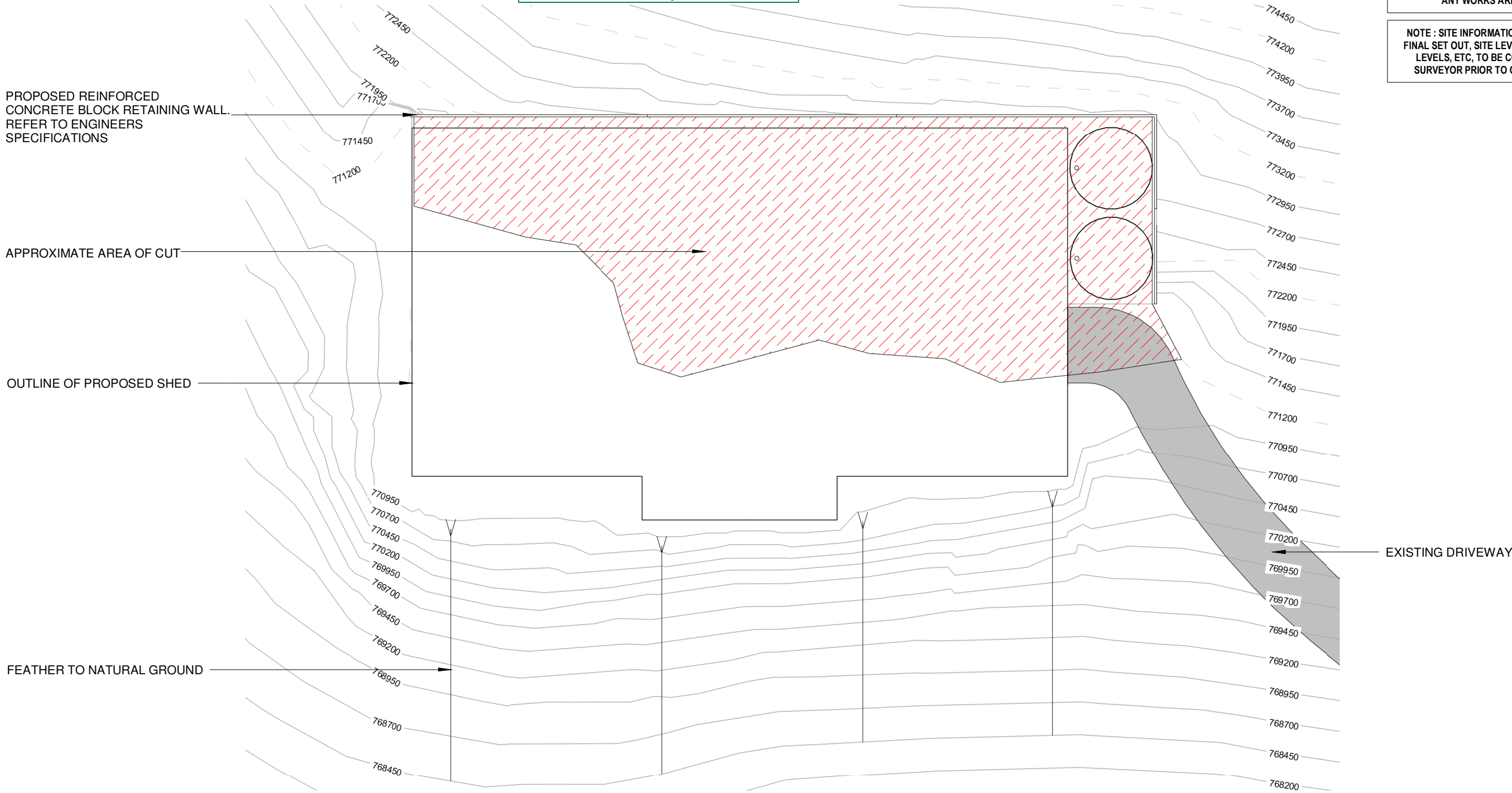
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1 CUT AND FILL PLAN

1 : 200 @ A3



ISSUED FOR

CONSTRUCTION CERTIFICATE

REFER TO COMPLIANCE NOTES

DRAWING AMENDMENTS			PROJECT TITLE	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	CUT AND FILL PLAN	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		LOT AND DEPOSITED PLAN NO.	LOT 83 DP750045	02/2023	T.L.
(DA)	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	CLIENT				DRAWING SCALE	DRAWN BY
A			O'SHEA				As indicated	EB
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
						LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580	A3 SHEET	0922-1515
							DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
							CC-15	A

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.



1 3D PERSPECTIVE 1
@ A3

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Date: 2 May 2025



2 3D PERSPECTIVE 2
@ A3

ISSUED FOR
CONSTRUCTION CERTIFICATE
REFER TO COMPLIANCE NOTES

DRAWING AMENDMENTS			PROJECT TITLE	+L TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	PROPOSED NEW SHED		3D PERSPECTIVES		02/2023	T.L.
(DA) A	DA/0109/2324 CONSENT CONSTRUCTION CERTIFICATE ISSUE	03/09/2024 05/03/2024	CLIENT O'SHEA		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE 1 : 100	DRAWN BY EB
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		LOT 83 DP750045		AT SHEET SIZE A3 SHEET	JOB NUMBER 0922-1515
					STREET ADDRESS LOT 83 NORWOOD ROAD, MIDDLE ARM, NSW 2580		DRAWING IDENTIFICATION NUMBER CC-16	AMENDMENT ISSUE A

LOT 83 DP 750045 KINGSDALE

GENERAL NOTES

- G1 These drawings shall be read in conjunction with other consultants' drawings and specifications and with other such written instructions as may be issued during the course of the Contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
- G2 All dimensions are in millimetres, U.N.O. (unless noted otherwise).
- G3 No dimension shall be obtained by scaling the drawings.
- G4 All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.
- G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
- G6 Damp-proofing & sealing details shall be in accordance with Architect's details. All joints in concrete elements shall be suitably sealed or damp-proofed.

FOUNDATIONS

- F1 Refer Slab Design Criteria for classification of site.
- F2 All foundations must be stable and uniform throughout.
- F3 Footings shall be placed centrally under walls and columns, U.N.O.

LOADING

- L1 Superimposed floor loads are generally in accordance with AS 1170.1 or as noted in Table L4.
- L2 Wind loads are in accordance with AS/NZS 1170.2 as follows:
Region : A Terrain category 3 wind classification N2
- L3 Earthquake loads are in accordance with AS 1170.4 as follows:
a = 0.08 S = 1.0 I = 1.0, U.N.O.
- L4 Live loads & additional dead loads: (to AS/NZS 1170.1)

Area subject to loading	Live Load		Add. Dead Load
	Uniform	Point	
Floors - Internal	1.50 kPa	1.80 kN	0.50 kPa
Floors - External & Garage	3.00 kPa	1.80 kN	1.00 kPa
Roof Areas	0.25 kPa	1.40 kN	0.15 kPa

MASONRY

- M1 All workmanship and materials shall be in accordance with AS 3700.
- M2 Characteristic compressive strength of masonry (f_{uc}) = 24 MPa

Durability Requirements			
Mortar	Salt Attack Resistance Grade	Built In Component	Min. Cover to Reinforcement & Tendons in Grouted Cavities
M2	Protected	R1 (Galv'd 300 g/m² each side)	5
M3	General Purpose	R3 (Galv'd 470 g/m² each side)	15
M4	Exposure	R4 (Stainless)	30

- M3 All masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry.
- M4 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.
- M5 Non load bearing walls shall be separated from concrete above by 12 mm thick closed cell polyethylene strip.
- M6 Provide vertical control joints at 8 metres maximum centres, and 4 metres maximum from corners in masonry walls, and between new & existing brickwork.
- M7 Masonry retaining walls are to be backfilled with either of the following material:
- Coarse grained soil with low silt content
 - Residual soil containing stones
 - Fine silty sand
 - Granular materials with low clay content

REINFORCED CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition, except where varied by the contract documents.
- C2 Concrete quality shall be as follows (subject to note C4 being satisfied):

Element	Slump mm	Max. Agg. Size mm	Cement Type	f'c at 28 Days MPa
Footings	80	20	Normal	20
Slabs on Ground	80	20	Portland	25
Suspended Floors	80	20	Type A	32

- C3 Engineer to approve any admixtures used in concrete mix.
- C4 Cover to reinforcement shall be obtained by the use of approved bar chairs. All chairs to be placed at 750 maximum centres.
- C5 Minimum clear concrete cover to reinforcement including ties and stirrups (other than residential slabs on ground or footings) shall be as follows uno.

Exposure Classification	Minimum Cover (mm)				
	Concrete Strength (f'c)				
	20 MPa	25 MPa	32 MPa	40 MPa	>50 MPa
A1	20	20	20	20	20
A2	(50)	30	25	20	20
B1	-	(60)	40	30	25
B2	-	-	(65)	45	35
C	-	-	-	(70)	50

For bracketed figures refer to AS 3600 current edition table 4.10.3.2

- C6 Residential slab on ground and footings cover requirements: (Minimum concrete grade N20)
- Unprotected ground: 40 mm
 - External exposure: 40 mm
 - Membrane in contact with ground: 30 mm
 - Internal surface: 20 mm
 - Strip & pad footing: 40 mm
- C7 All concrete shall be mechanically vibrated. Vibrators shall not be used to spread concrete.
- C8 Sizes of concrete elements do not include thickness of applied finishes.
- C9 No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Engineer.
- C10 Construction joints where not shown shall be located to the approval of the Engineer.
- C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, and prevention of loss of moisture for a total of 7 days followed by gradual drying out. Approved sprayed on compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.
- C12 Construction support propping is to be left in place where needed to avoid over stressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the slab has absorbed its dead load deflection.
- C13 Conduits, pipes, etc. shall only be placed in the middle one third of slab depth and spread at not less than 3 diameters.
- C14 Reinforcement symbols :
- N - Denotes deformed grade 500 normal ductility reinforcing bars to AS/NZS 4671.
 - R - Denotes plain round grade 250 normal ductility reinforcing bars to AS/NZS 4671.
 - SL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
 - RL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
 - L-TM - Denotes deformed grade 500 low ductility trench mesh to AS/NZS 4671.
- C15 Reinforcement is represented diagrammatically; it is not necessarily shown in true projection.
- C16 Splices in reinforcement shall be made only in positions shown or otherwise approved by the Engineer.
- C17 Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than the spacing of those wires plus 25 mm.
- C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.

STRUCTURAL STEEL

- S1 All workmanship and materials shall be in accordance with AS 4100, AS 1163, AS 1554.1 and AS/NZS 4600.
- S2 The structural design has been based on the following steel grades, U.N.O:
Hot rolled universal beams, columns, channels & angles:300PLUS
Circular, square & rectangular hollow sections: C350/C450LO
Cold formed open DuraGal profiles: C400/C450LO
Cold formed lipped Cee & Zed purlins: G550/G500/G450
- S3 The structural design has been based on MBPMA nominal size Cee & Zed lipped purlins. All purlin profiles shall be in accordance with the MBPMA specifications.
- S4 Qualifications of welding procedures and personnel shall conform to Section 4 of AS 1554.1. Non destructive testing of welds shall include 100% visual inspection and additional testing as shown on the drawings.
All welds shall be 6 mm continuous fillet type SP, U.N.O. All butt welds shall be complete penetration in accordance with AS 1554.1, U.N.O.
Commercial bolts to AS 1111, snug tightened
High strength structural bolts to AS 1562, snug tightened
High strength structural bolts to AS 1562, fully tensioned bearing joint to AS 1511
High strength structural bolts to AS 1562, fully tensioned friction joint to AS 1511
All bolts shall be M16 8.8/S, with a minimum of 2 bolts per connection, U.N.O.
- S7 High strength TF & TB bolts shall be installed using approved load indicator washers, or in accordance with the part turn method nominated in AS 4100.
- S8 Gusset plates shall be 10 mm thick, grade 300PLUS steel, U.N.O.
- S9 Concrete encased steelwork shall be wrapped with SL41 fabric and shall have a minimum of 50 mm cover, U.N.O.
- S10 Steelwork not encased shall have the following surface treatment :

Exposure Classification	Steelwork Protection Required
A1 / A2	Power tool clean to AS1627 Class 1 1 Coat Alkyd Primer (Zinc Phosphate)
B1	Abrasive blast to AS1627 Class 2.5 1 Coat Inorganic Zinc Silicate
B2	Hot Dipped Galvanised to AS4680

- S11 Where sealed tube members are hot dip galvanised, the fabricator shall provide drill holes as necessary.
- S12 All transport and erection damage, site welds etc., shall be reinstated to an equivalent finish to adjacent steelwork

SITE PREPARATION FOR SLABS ON GROUND

- P1 Strip topsoil containing organic matter. Proof roll fill sub grade and remove any soft zones.
- P2 Where additional fill is required to the underside of slabs on ground, non cohesive materials such as sand and gravel dust shall be placed by "controlled" compaction in horizontal layers of 200 mm (loose) maximum depth. This fill shall be compacted to at least 95% of Standard Maximum Dry Density (SMDD).
- P3 For slabs on ground, sand 50 mm approximate thickness is to be spread as a levelling layer and well watered down.
- P4 Damp-proofing membrane unpunctured and taped at laps, is to be placed over the sand, sufficient membrane being provided at edges to return under brickwork. Where no brickwork, tape membrane to side of footing below ground.

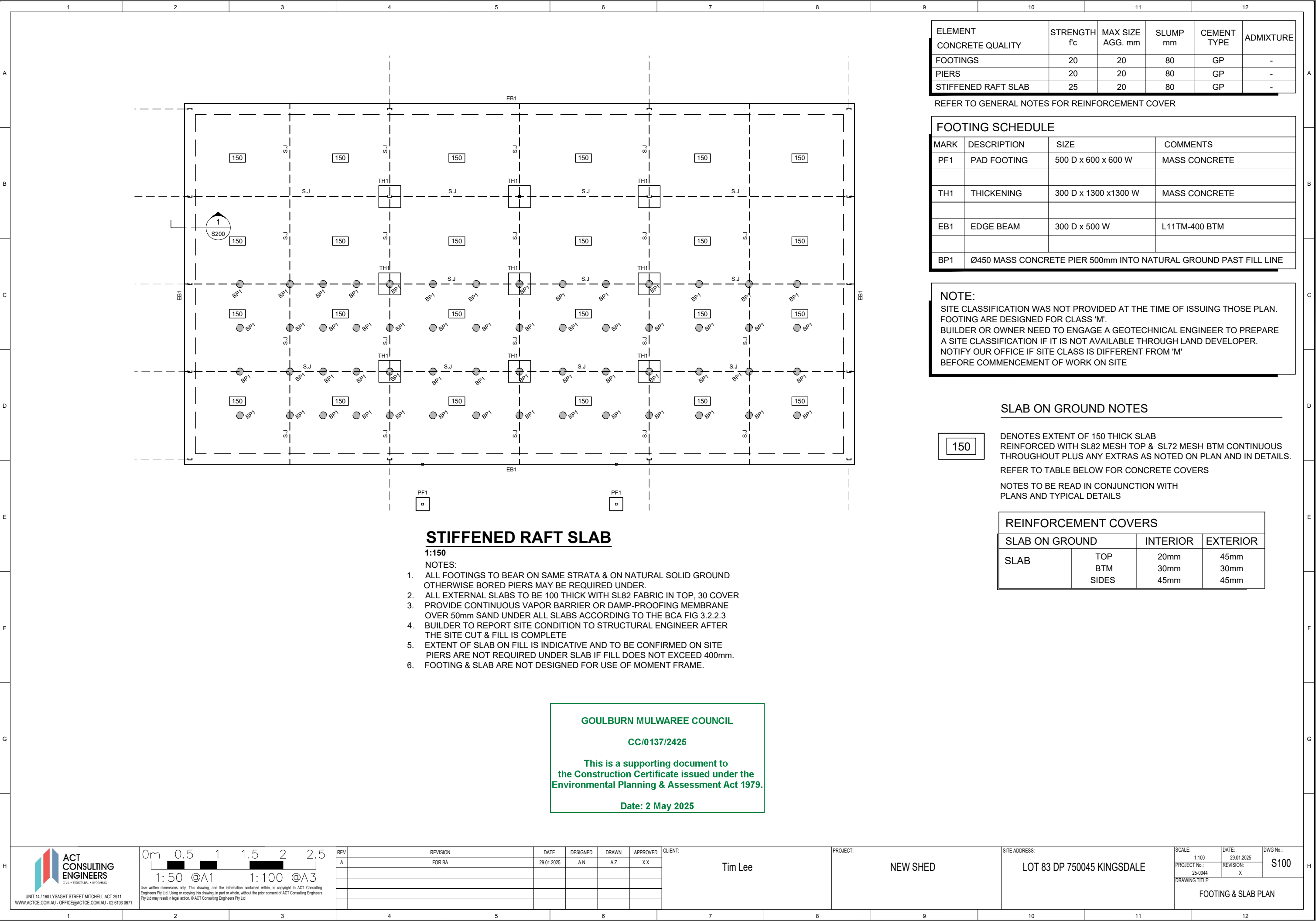
FOUNDATION MAINTENANCE

FOUNDATION SOILS : All soils are affected by water. Silts are weakened by water and some sands can settle if heavily watered, but most problems arise on clay foundations. Clays swell and shrink due to changes in moisture content and the potential amount of the movement is implied in the site classification in Australian Standard AS2870, which is specified as follows:

- A Stable (Non-reactive).
- S Slightly Reactive.
- M Moderately Reactive.
- H Highly Reactive.
- E Extremely Reactive.

CLASS A & S SITES : Sands, silts and clays shall be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.

CLASS M



ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
PIERS	20	20	80	GP	-
STIFFENED RAFT SLAB	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

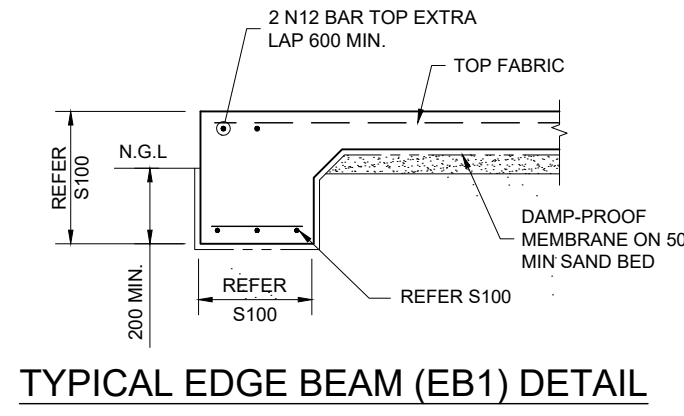
FOOTING SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
PF1	PAD FOOTING	500 D x 600 x 600 W	MASS CONCRETE
TH1	THICKENING	300 D x 1300 x1300 W	MASS CONCRETE
EB1	EDGE BEAM	300 D x 500 W	L11TM-400 BTM
BP1	Ø450 MASS CONCRETE PIER 500mm INTO NATURAL GROUND PAST FILL LINE		

NOTE:
SITE CLASSIFICATION WAS NOT PROVIDED AT THE TIME OF ISSUING THOSE PLAN.
FOOTING ARE DESIGNED FOR CLASS 'M'.
BUILDER OR OWNER NEED TO ENGAGE A GEOTECHNICAL ENGINEER TO PREPARE
A SITE CLASSIFICATION IF IT IS NOT AVAILABLE THROUGH LAND DEVELOPER.
NOTIFY OUR OFFICE IF SITE CLASS IS DIFFERENT FROM 'M'
BEFORE COMMENCEMENT OF WORK ON SITE

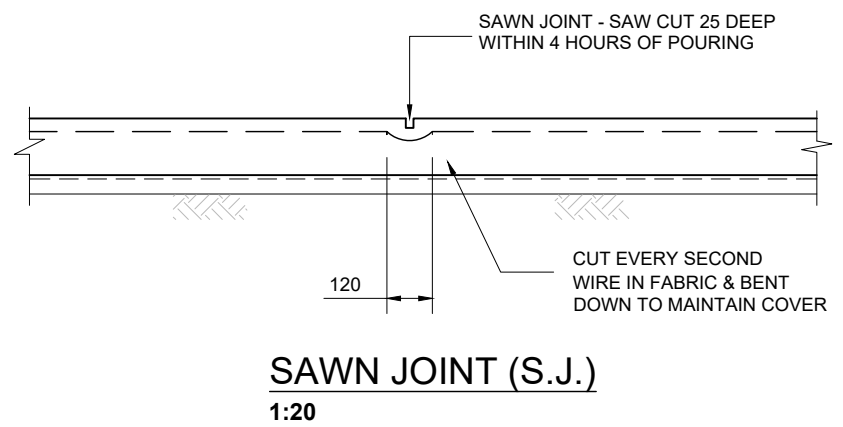
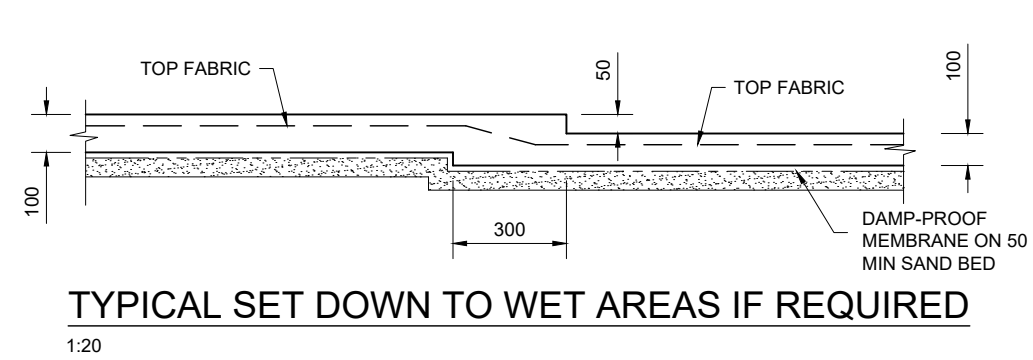
SLAB ON GROUND NOTES

150 DENOTES EXTENT OF 150 THICK SLAB
REINFORCED WITH SL82 MESH TOP & SL72 MESH BTM CONTINUOUS
THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.
REFER TO TABLE BELOW FOR CONCRETE COVERS
NOTES TO BE READ IN CONJUNCTION WITH
PLANS AND TYPICAL DETAILS

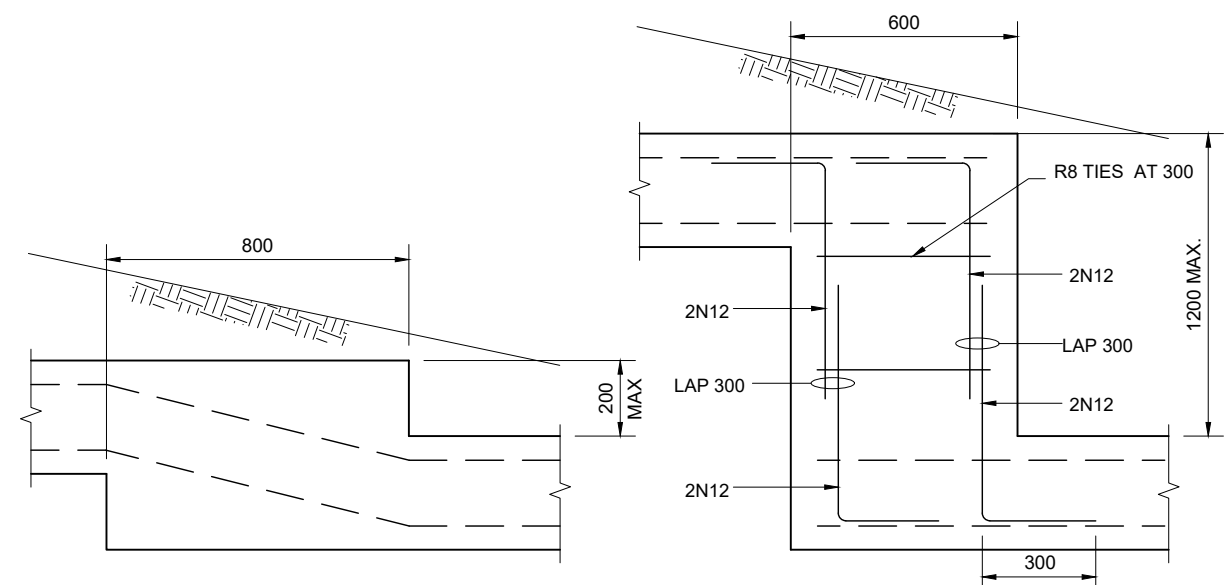
REINFORCEMENT COVERS			
SLAB ON GROUND		INTERIOR	EXTERIOR
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm



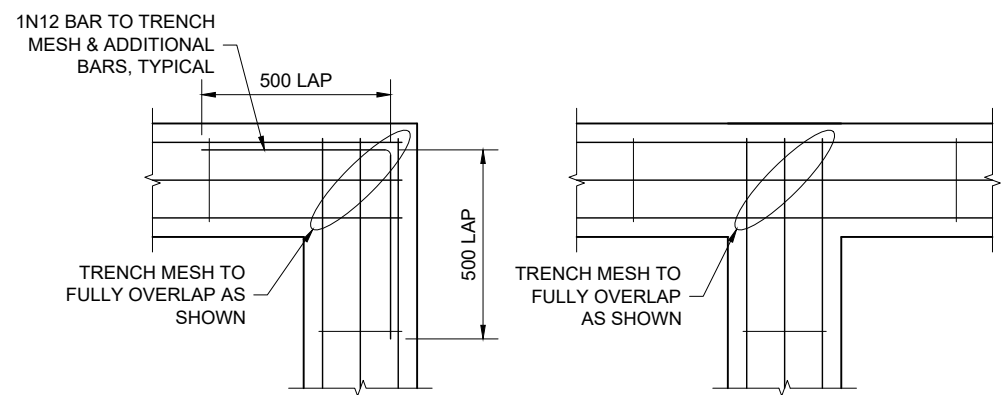
TYPICAL EDGE BEAM (EB1) DETAIL
SECTION 1
1:20
S100



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TYPICAL FOOTING STEP DETAIL (ELEVATION)
1:20



TYPICAL FOOTING CORNER DETAILS (PLAN)
1:20

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "43.90m/s" , WIND REGION "A3", TERRAIN CATEGORY "2", IMPORTANCE LEVEL "2"
Internal Pressure: 0.5
Design Snow Load: 1.05 KPa, Roof Snow Load: 1.05 KPa

Customer: Andrew Oshea
Site Address: 83 marble Hill Road, Goulburn NSW 2580

Main Building: Span: 12, Length: 16.212, Height: 6, Roof Pitch: 11 degrees
The length being comprised of 4 bays, the largest bay is 4.053m bays.
Left LeanTo: Span: 4.598, Length: 16.212, Eave Height: 4.393, Roof Pitch: 11 degrees, Enclosed
Right LeanTo: Span: 4.598, Length: 16.212, Eave Height: 4.393, Roof Pitch: 11 degrees, Enclosed

Total Kit Weight: 14772.59kg

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Date: 2 May 2025

INTERNAL PORTALS	END PORTALS
Column: C40030 Rafter: C40030 Knee Brace: C25024 Knee Brace Length: 2600 Apex Brace: C25024 Apex Brace Length: 4600	Column: C40030 Rafter: C40030 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA Endwall Mullion: C40030
LEFT LEAN TO PORTALS	RIGHT LEAN TO PORTALS
Internal Column: C25024 Internal Rafter: C25024 End Column: C25024 End Rafter: C25024 Knee Brace: NA Knee Brace Length: NA	Internal Column: C25024 Internal Rafter: C25024 End Column: C25024 End Rafter: C25024 Knee Brace: NA Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: TH120100 Side Wall Girts: TH120100 Front End Wall Girts: TH120100 Back End Wall Girts: TH120100 Roof Purlins: TH120100	Max Spacing: 1100 Max Spacing: 1100 Max Spacing: 1100 Max Spacing: 1000	Overlap: 10% Overlap: 10% Overlap: 10% Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.1m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor Frame Bolts: M16x45 Purlin Assembly Zinc (Mild) Frame Screws: Frame Screw 14x14x22 Cross Bracing Strap: 32mm x 1.2 strap Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Colour External Wall Sheets: Colour Roller Doors: Colour Flashings: Colour PA Doors: Colour Windows: NA

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES
This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING
The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"- "P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2009 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

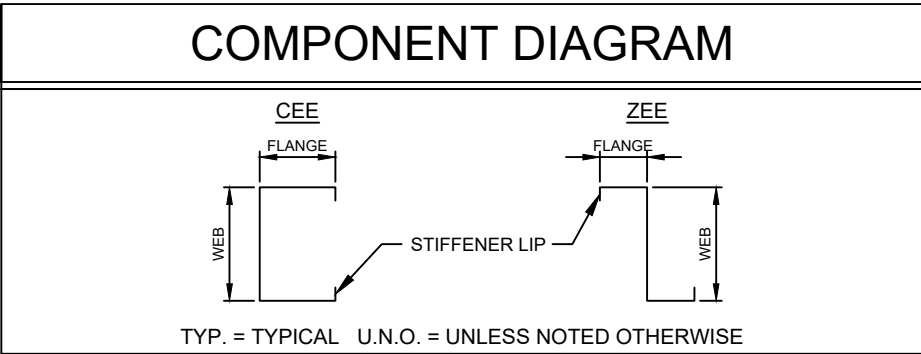
For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

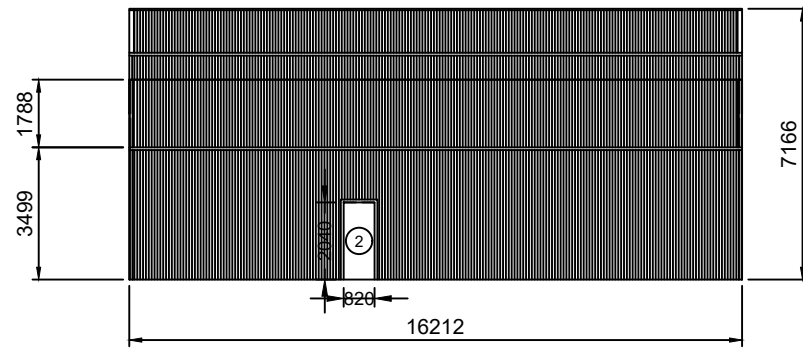
CONSTRUCTION
Erection of the structure is to be in compliance with local and state ordinances,

Occupational Health and Safety Regulations and with plans provided.

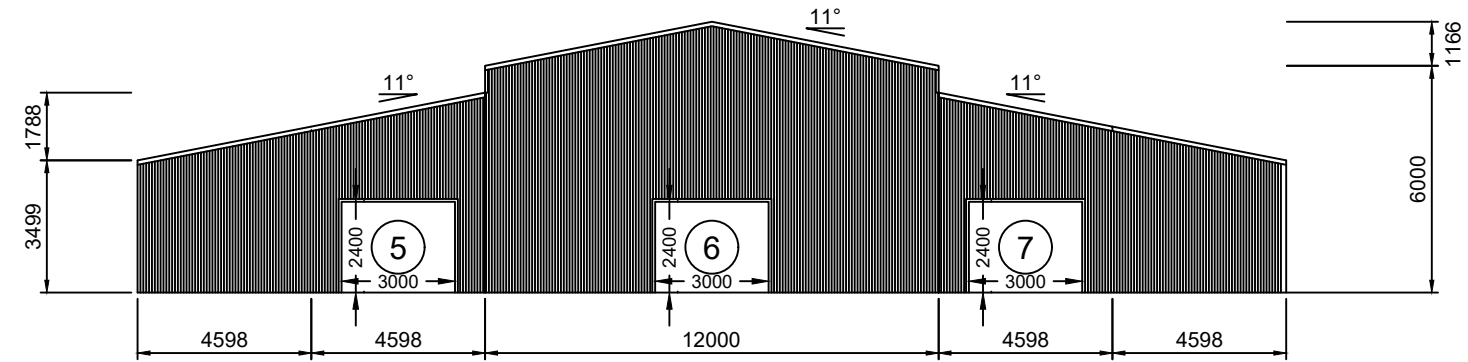
GENERAL
The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD
Following conditions only apply to buildings with snow loading:
• No maintenance or roof traffic permitted on the roof while there is snow present.
• No other structure to be erected within 500mm of the gutters of this building.



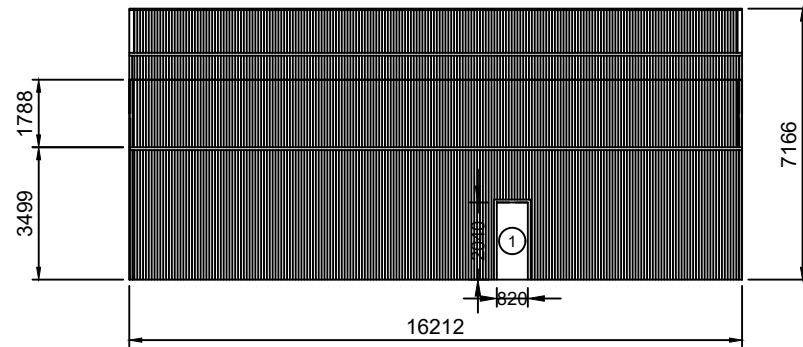


2 LEFT ELEVATION
2 SCALE: 1:200

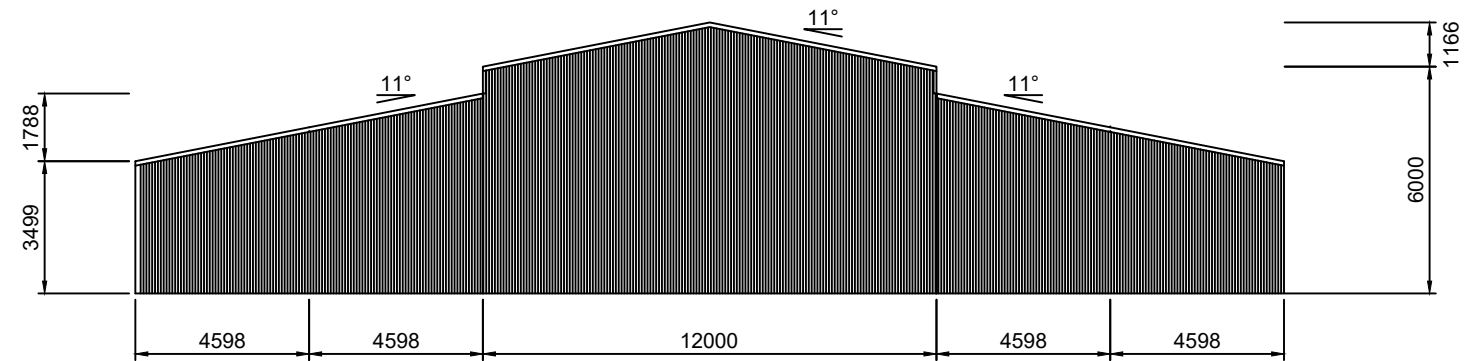


3 REAR ELEVATION
2 SCALE: 1:200 FRAME #5

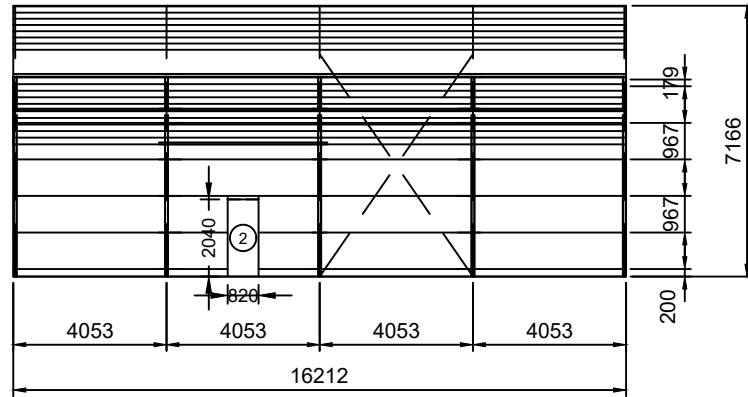
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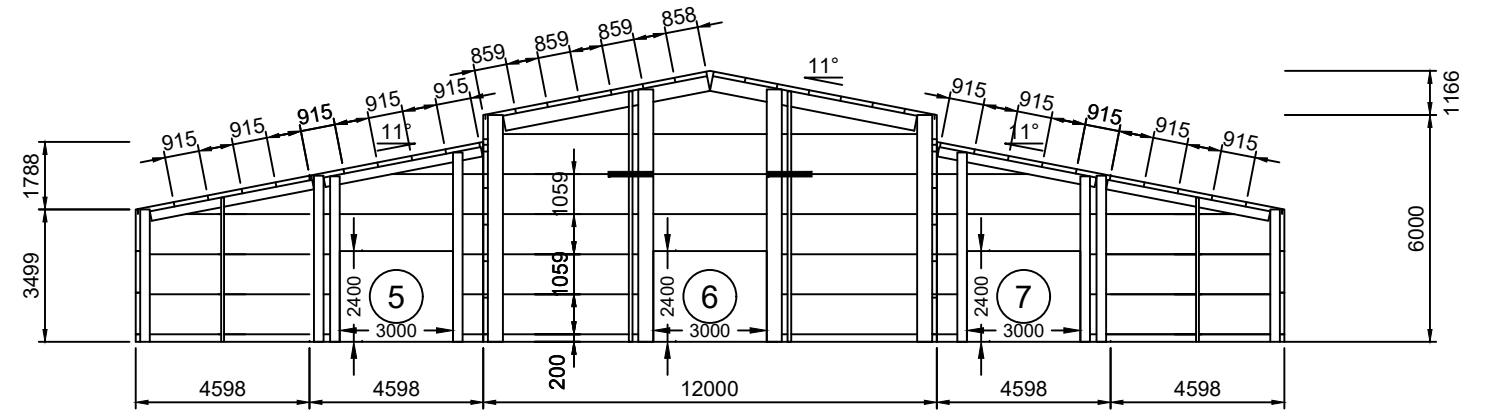
1 RIGHT ELEVATION
2 SCALE: 1:200



4 FRONT ELEVATION
2 SCALE: 1:200 FRAME #1

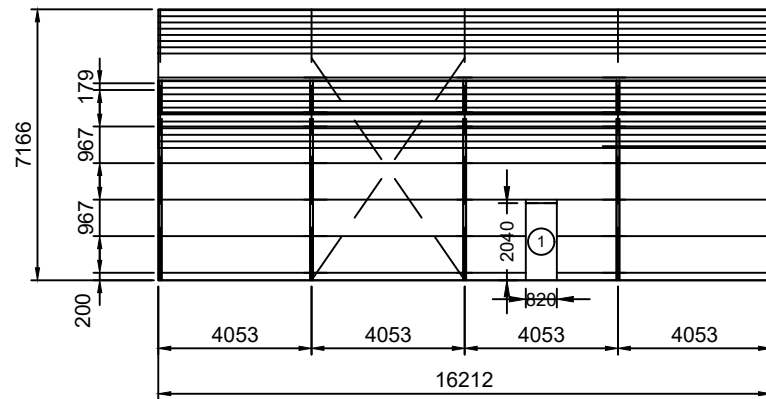


2 LEFT ELEVATION
SCALE: 1:200

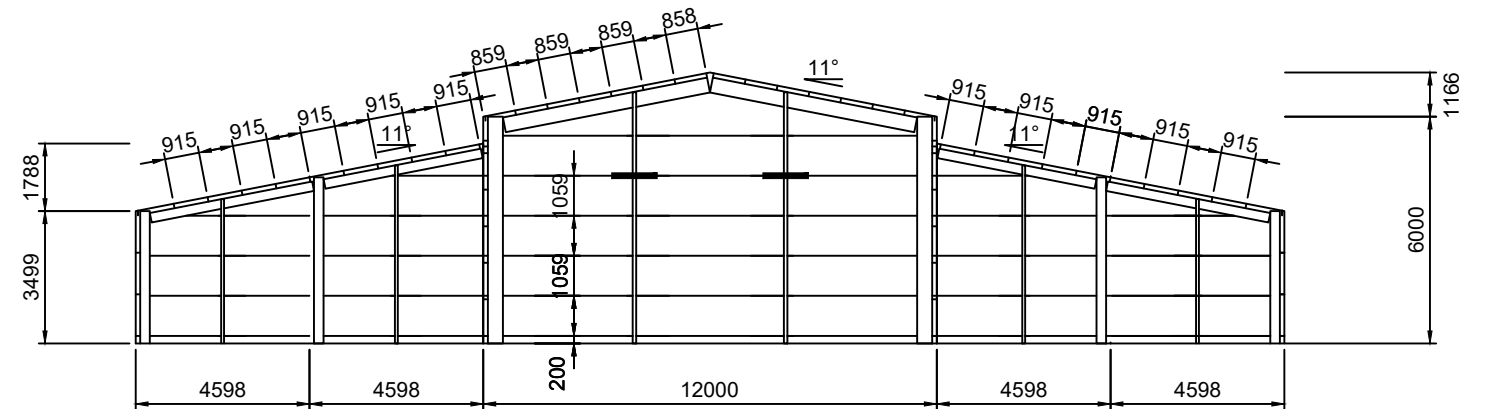


Notes: Main Building - Install first purlin at inner edge of haunch bracket, 946mm from outside of eave purlin.
3 REAR ELEVATION
SCALE: 1:200
FRAME #5

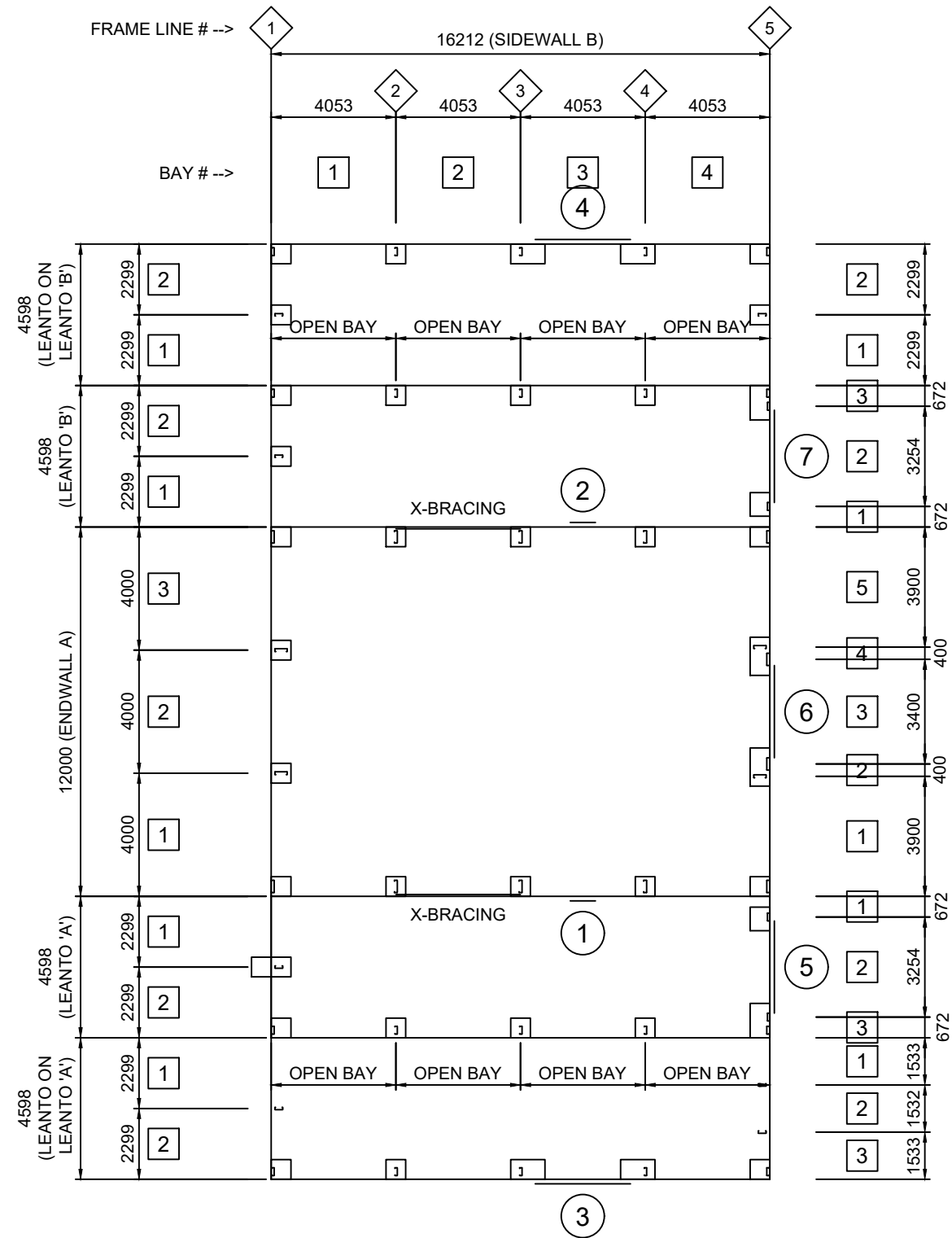
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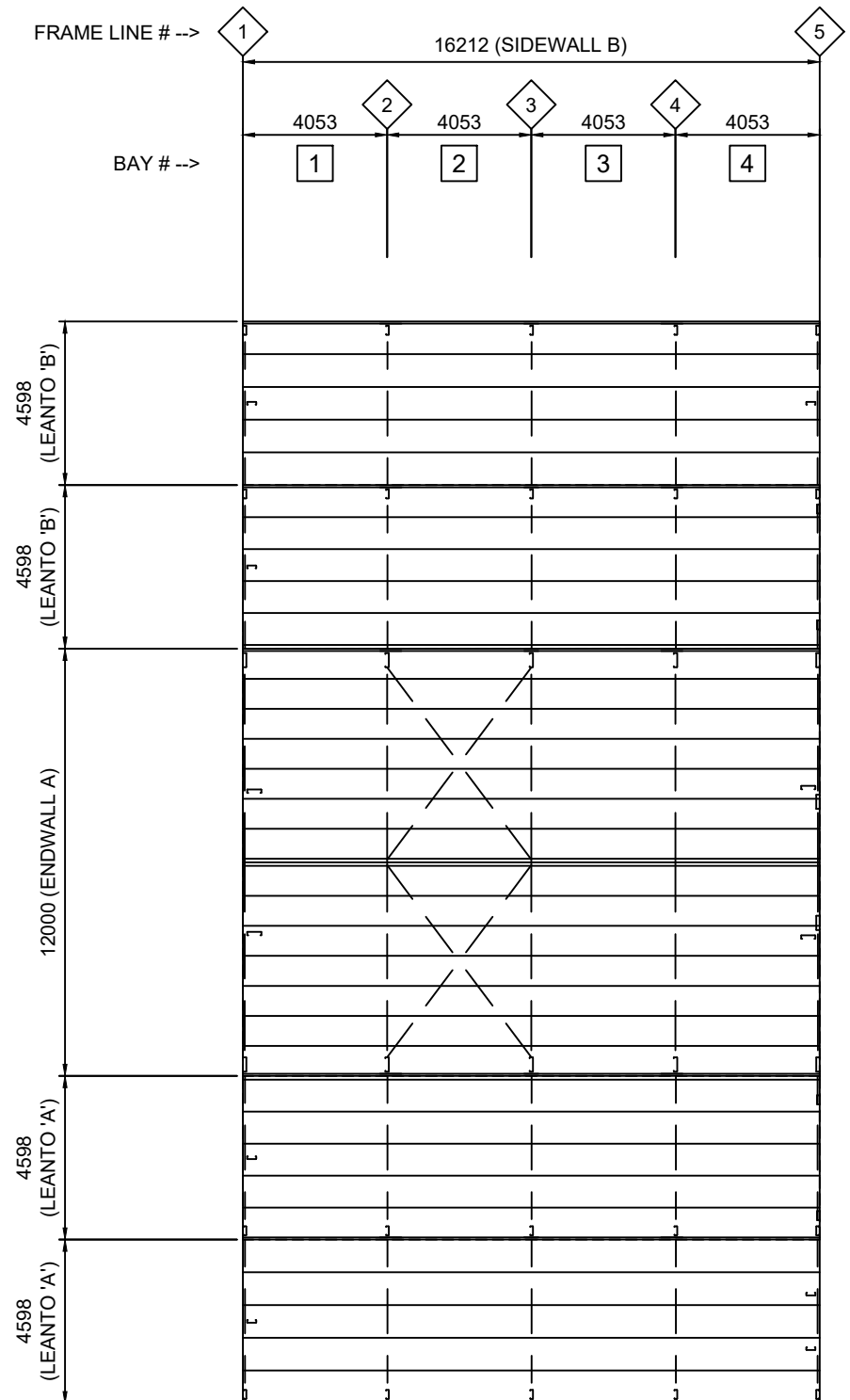
1 RIGHT ELEVATION
SCALE: 1:200



Notes: Main Building - Install first purlin at inner edge of haunch bracket, 946mm from outside of eave purlin.
4 FRONT ELEVATION
SCALE: 1:200
FRAME #1



1 FLOOR PLAN
SCALE: 1:200



2 ROOF FRAMING PLAN
SCALE: 1:200

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SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL
(100mm MINIMUM CONCRETE SLAB INCLUDED)

SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
	MESH REINFORCING	TRENCH MESH	ø x DEPTH	DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

STRENGTH: 25mPa

2 x M16 BOLTS

2 x 16MM DIA SLEEVE ANCHORS,
12MM DIA INTERNAL ROD-MIN 110MM LONG

REFER TO SLAB
TABLE FOR MESH
TYPE - 30MM COVER

100

POLYTHENE WATERPROOF
MEMBRANE ON CONSOLIDATED
SUB-BASE SHOWN DASHED

DEPTH

WIDTH

Z

ALTERNATE PIER DETAIL

INDICATES 16 mmø
GRADE 4.6 BOLT

13 X 14G TEK SCREWS

C40030 FRAME
RAFTER

C40030 FRAME
COLUMN

SGL. 3mm 11" HAUNCH
BRACKET (SAME DEPTH
AS MEMBERS)

4644 mm
TO TOP OF
CONCRETE
FOUNDATION

C25024 KNEE
BRACE, 2600 mm
LONG (OMIT AT
ENDWALLS)

(2) 16 mmø GRADE 4.6
BOLTS AT EACH END
OF KNEE BRACE

D

ENDWALL MULLION ROTATED

C40030 FRAME
RAFTER

SGL. 3mm 11" APEX
BRACKET, WITH (12) 16
mmø GRADE 4.6 BOLTS PER
BRACKET

14 X 14G TEK SCREWS

2250 mm

(2) 16 mmø GRADE 4.6 BOLTS AT
EACH END OF APEX BRACE

C25024 APEX BRACE (OMIT
AT ENDWALLS), 4600 mm
LONG

E

PURLIN CONNECTION

C40030 ENDWALL
RAFTER

NOTE: SEE DETAIL M/7 FOR
BASE CONNECTION OF
ENDWALL MULLION.

50mm x 200mm x 200mm TALL MFA
BRACKET WITH 8 X 14G TEK SCREWS
INTO RAFTER WEB AND 12 X 14G TEK
SCREWS INTO MULLION WEB

C40030 (OPEN SIDE OF CEE MAY FACE
EITHER DIRECTION, U.N.O.)

Y

SLAB DETAIL

1500

600

C40030 COLUMN

NOTE:
ENSURE EARTH/SOIL
IS KEPT CLEAR OF
WALL CLADDING AT
ALL TIMES.

A

HAUNCH CONNECTION

B

APEX CONNECTION

C1

ENDWALL MULLION TO RAFTER

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best
sheds

Value & Quality Direct to You

151 Smeaton Grange Road,
Smeaton Grange, NSW, 2567
Phone: 02 4648 7777
Fax: 02 4648 7700
Email: sales@bestsheds.com.au

EMERALD

DESIGN & CONSTRUCTION

CIVIL & STRUCTURAL ENGINEERS

COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING

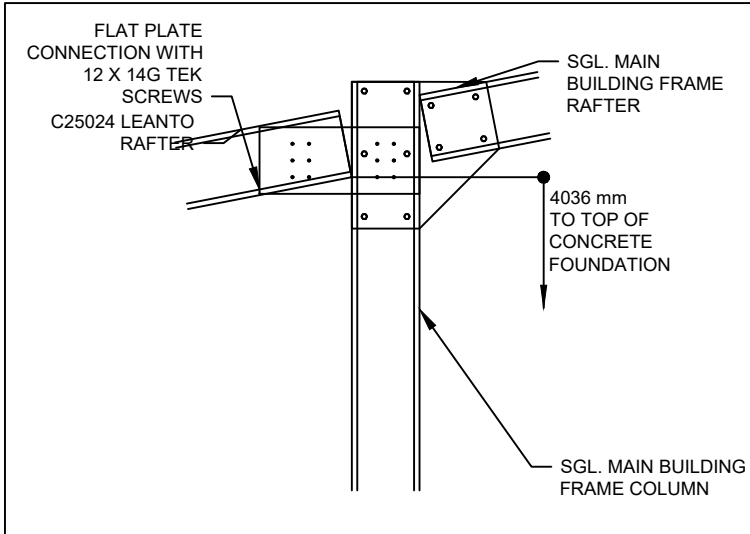
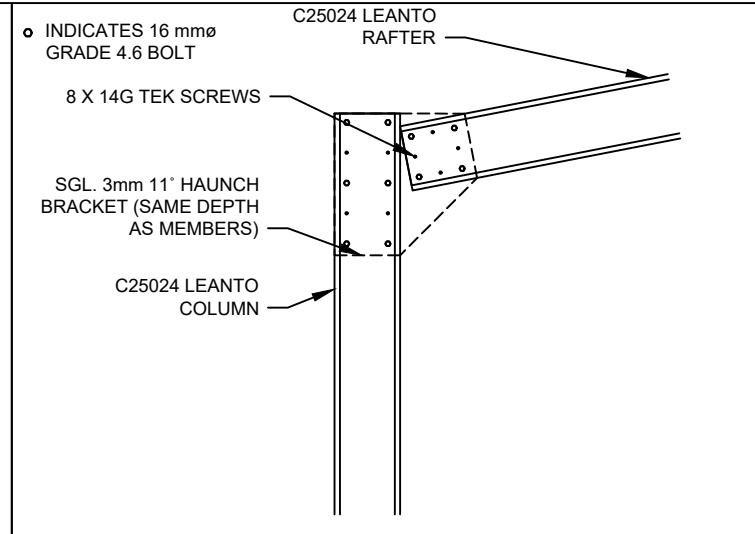
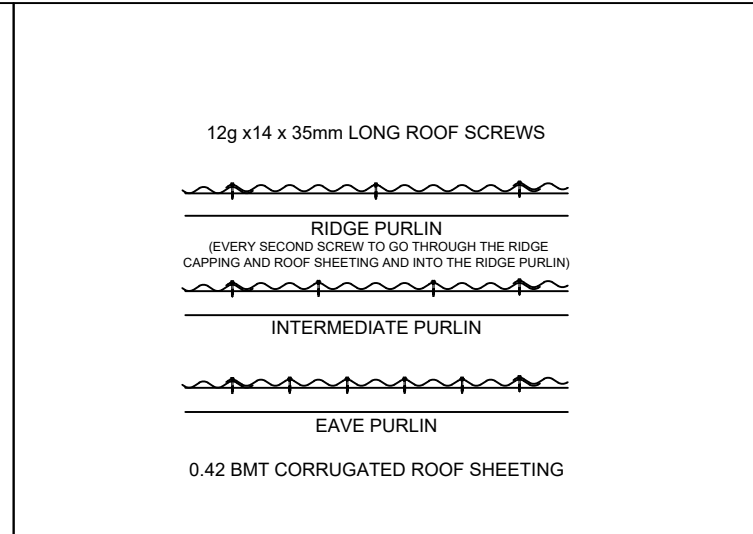
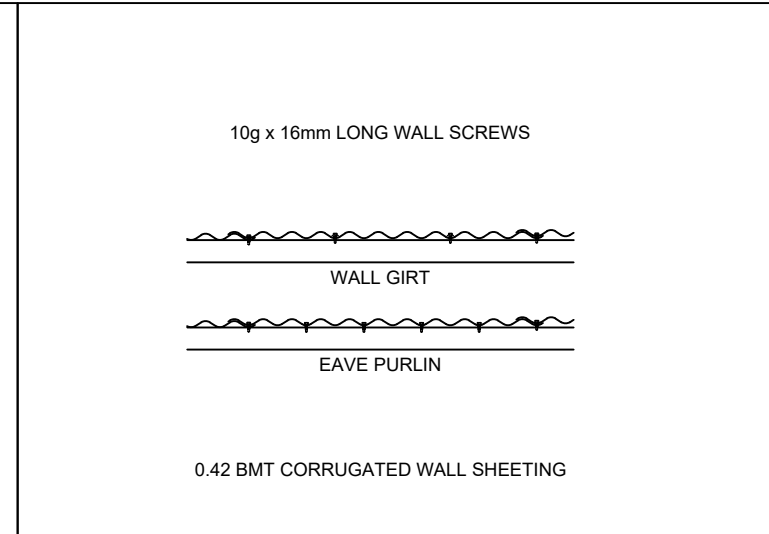
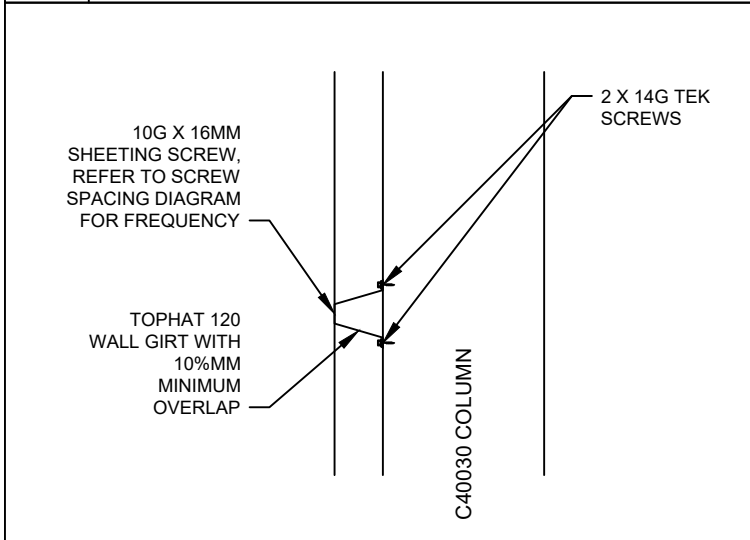
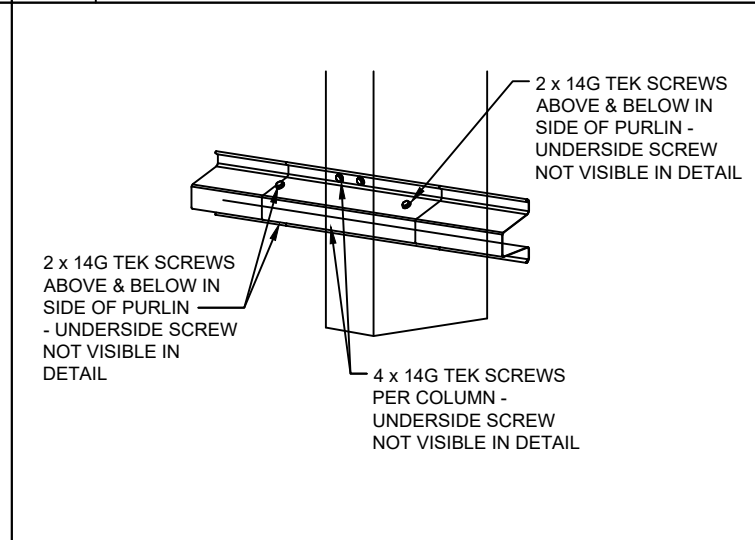
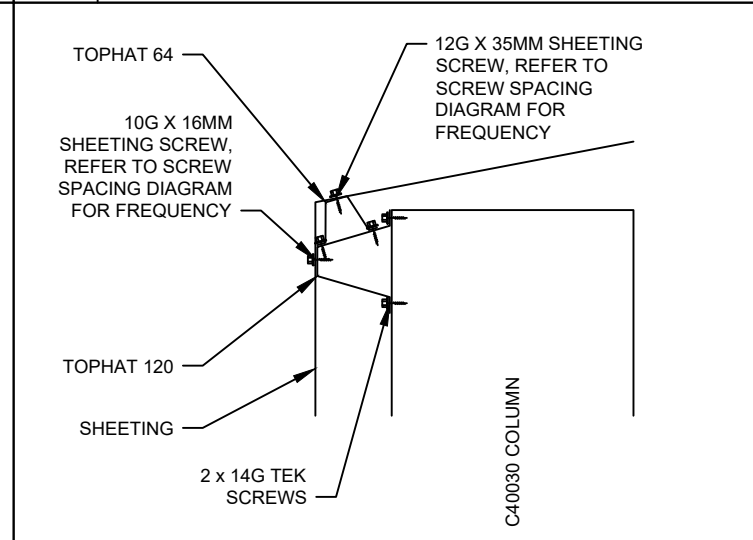
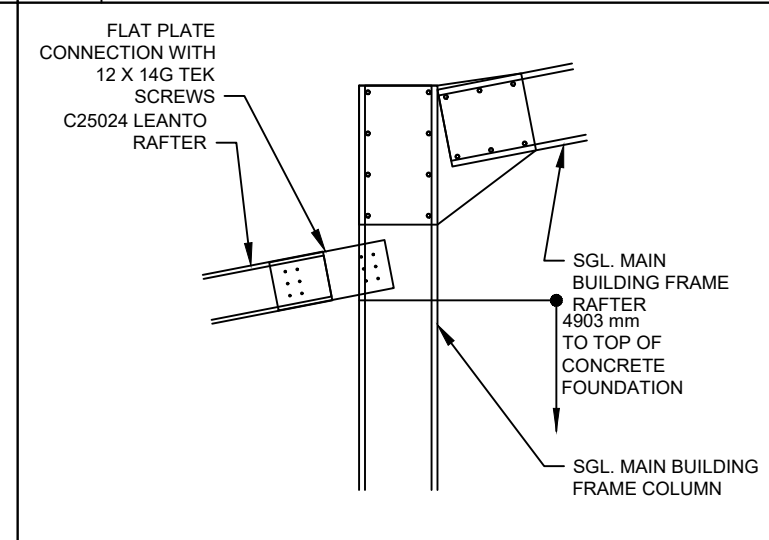
CAMILO PINEDA MORENO

Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)

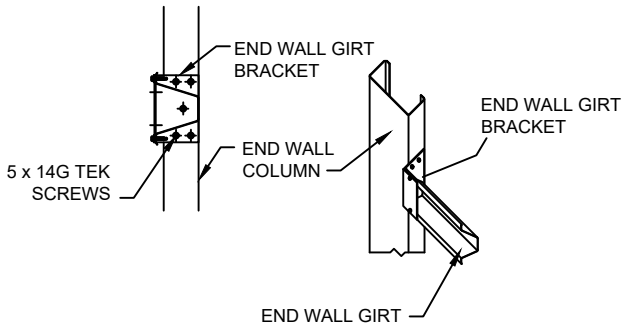
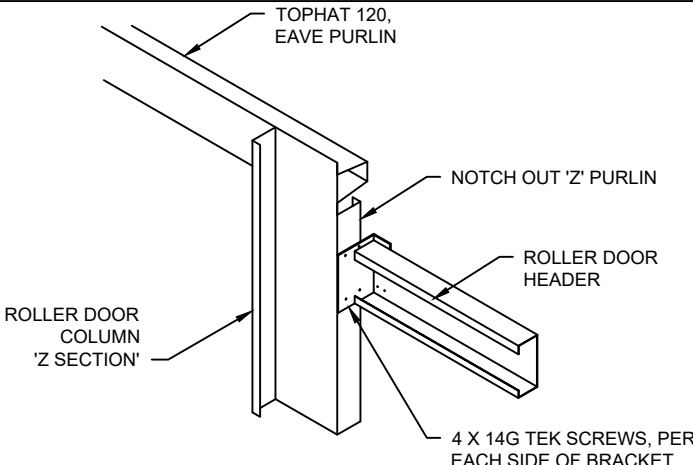
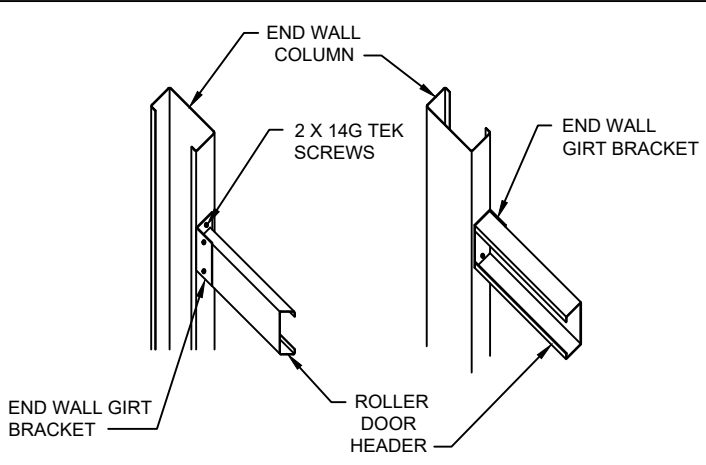
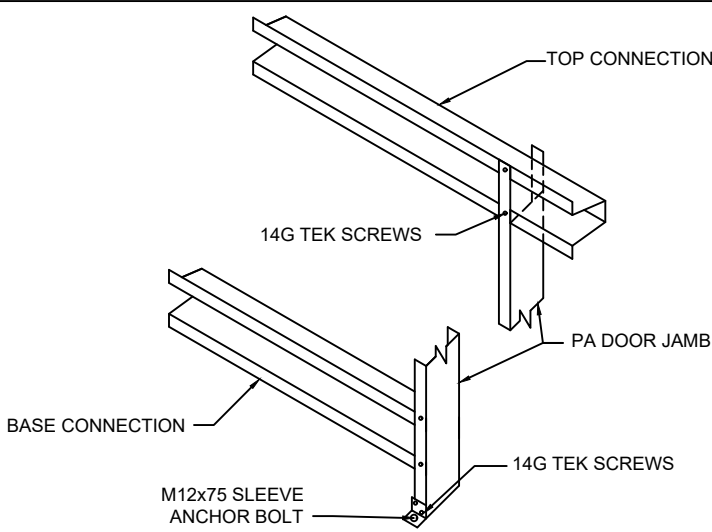
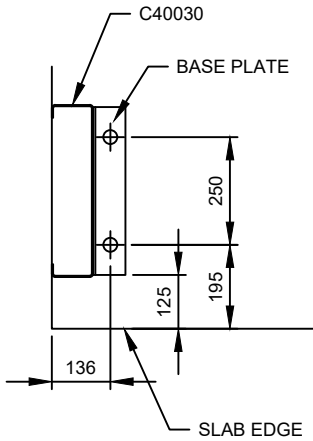
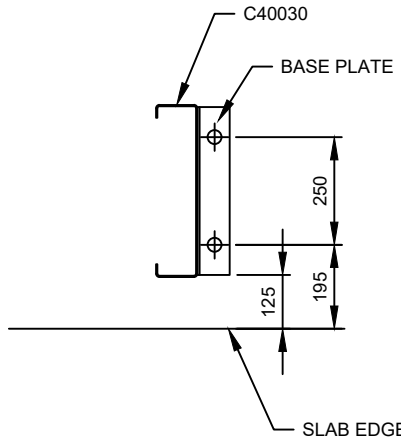
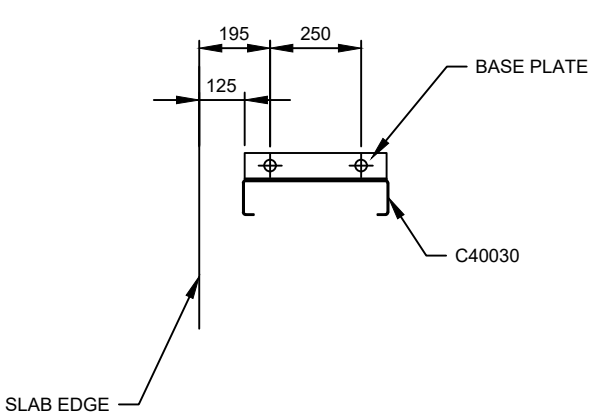
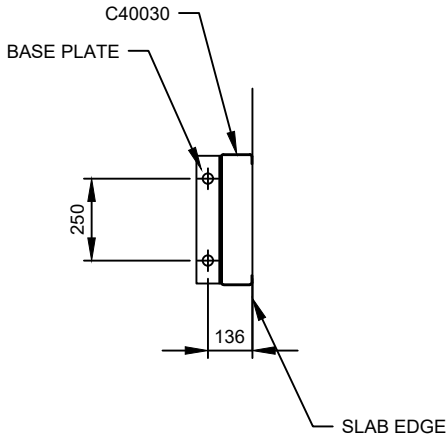
Signature:  Date: 21.02.2025

Customer Name: Andrew Oshea
Site Address: 83 marble Hill Road
Goulburn,
NSW, 2580

DATE 21-02-2025
JOB NO. 0517672653
SHEET 5 of 8

							
Q2	LEANTO RAFTER CONNECTION LEANTO SWA1, LEANTO SWB1	R	LEANTO HAUNCH CONNECTION	I	ROOF SHEETING	J	WALL SHEETING
							
F	GIRT CONNECTION	G	TOP HAT CONNECTION	H	EAVE CONNECTION	Q1	LEANTO RAFTER CONNECTION LEANTO SWA, LEANTO SWB

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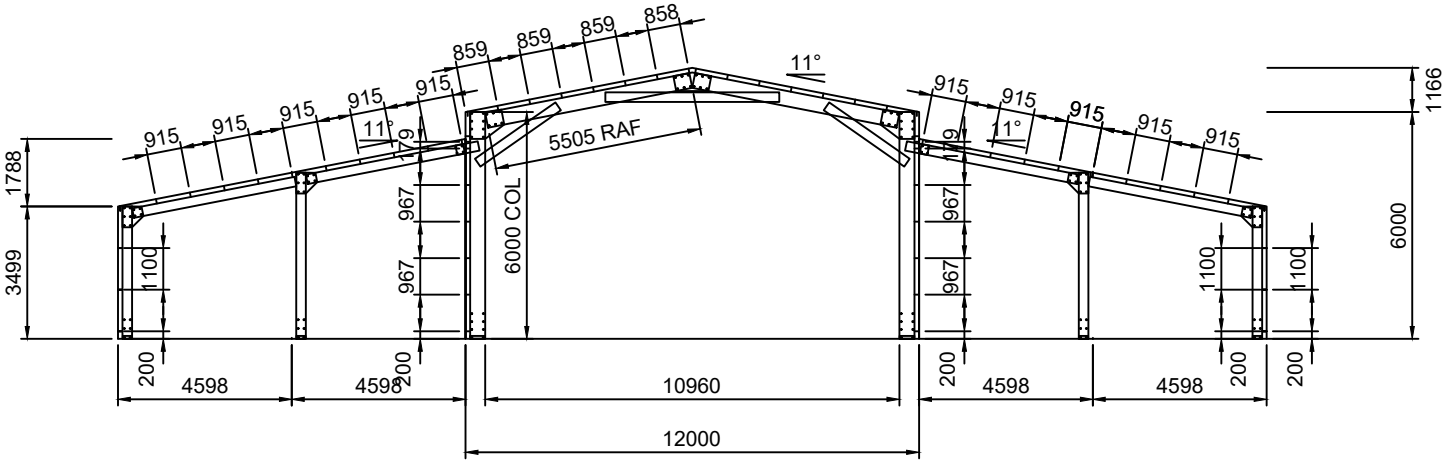
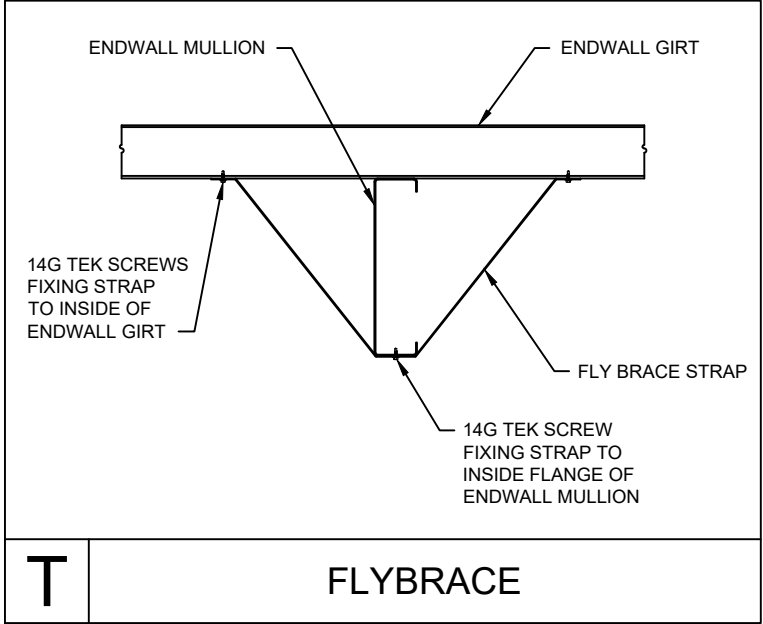
							
O	ENDWALL GIRT BRACKET	P	TH120 SIDE ROLLER DOOR DETAIL	Q	END DOOR HEADER AND JAMB	S	PA DOOR STYLE CONNECTION
							
K	CORNER COLUMN BASE	L	INTERNAL COLUMN BASE	M	ENDWALL MULLION BASE	N	ROTATED ENDWALL MULLION BASE

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Notes: Main Building - Install first purlin at inner edge of haunch bracket, 946mm from outside of eave purlin.

1
8

TYP. FRAME CROSS-SECTION

SCALE: 1:200

FRAMES 2-4

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Date: 2 May 2025

19/02/2025

Our Ref – Job Number 0517672653

RE: Structural Certification of Single-Story Lightweight Structure Class 10a.

For: Andrew Oshea

Location: 83 marble Hill Road, Goulburn NSW 2580

To whom it may concern

The purpose of this letter is to provide structural certification over the aspects of the buildings mentioned above, namely the drawings referenced in this certification are

- Structural Drawings, ref Job Number 0517672653 dated 19/02/2025

I have relied on the following reference documents

- AS 1170.0 General Principals (2002)
- AS 1170.1 Permanent & Other Actions (2002)
- AS1170.2 AS1170.2- (2021)
- AS 1170.3 Ice and Snow Actions (2021)
- AS 1170.4 Earthquake Loads (2007)
- AS 3600 Concrete Structures (2018)
- AS 4100 Steel Structures Code (2021)
- AS 4600 Cold Formed Section Code (2018)
- AS 2870 Residential Slab and Footing (2011)
- National Construction 2022

Yours faithfully,



Camilo Pineda Moreno
Beng MIEAust RPeng, RPEQ.
BPB: 2769 (NSW)

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